

Washington Square Commercial Historic District Design Review Guidelines

City of Washington, Illinois
2016



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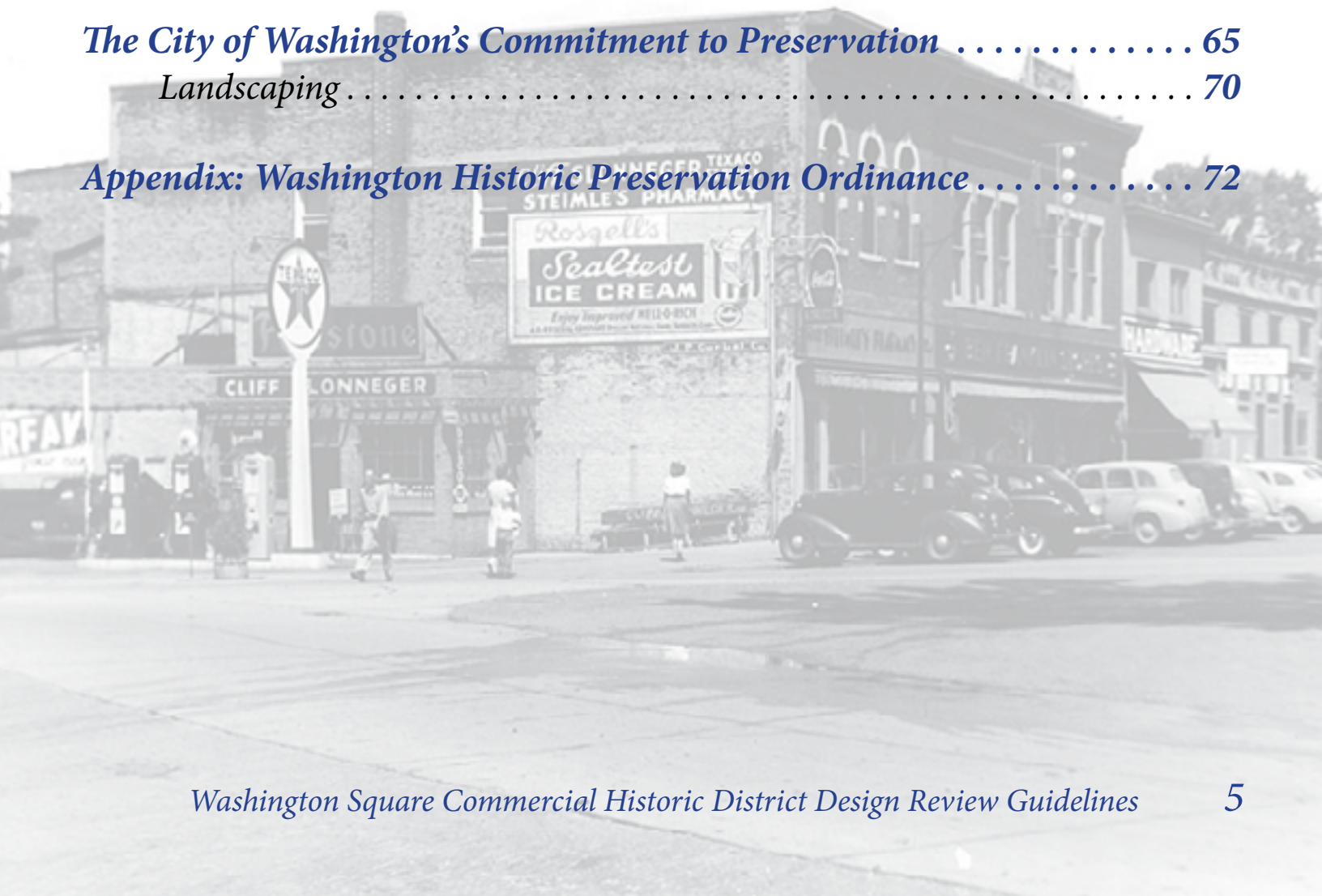
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Preservation as a Planning Tool

Historic preservation is an important part of planning and is frequently incorporated into planning activities to guide the future of a community and keep the history of place alive. Historic preservation planning has also become an important economic tool over the years and has thus been incorporated in over 2,700 local historic ordinances across the country. The City of Washington, Illinois has demonstrated its commitment to historic preservation through its maintenance of the downtown square and the importance that has been placed on the annual activities in the square over the years. In planning for the Washington's future, it is important to consider its history and historic character while planning for the city's future. While preservation planning as a tool keeps the historic character of a community alive, finding the balance between that historic character and the demands of the contemporary lifestyle becomes extremely important.



Intent and Purpose of Guidelines

As part of the local historic district, a set of design guidelines has been proposed to preserve the character of the historic buildings in the downtown square. The Washington Square Commercial Historic District Design Review Guidelines will provide criteria for alterations, construction and demolition in the historic district, ultimately guiding future changes to the Square in order to maintain the historic character of the City. While this will mean additional regulations, the guidelines are designed to preserve the character of the district while allowing flexibility to the property owners in decisions regarding changes to their structures. These guidelines are based off the Washington Historic District Ordinance, which establishes basic criteria for general categories when considering changes to the district; additional categories of more specific architectural details and aesthetic choices are added to the existing features mentioned in the Ordinance to provide a more comprehensive look at changes that may occur in the future. The focus of these guidelines remains on the facades visible from the streets, most often the public views and entrances facing the Square. The rear of buildings are considered more private than the front façade and will therefore be allowed more flexibility for alterations and additions, as long as said rear façade is in fact less visible than the front façade. These guidelines will provide guidance for property owners in the district to make important decisions about the external appearances for their buildings.

This document addresses commercial properties as this local historic district consists primarily of commercial properties. In the future, if additional districts are established that include residential buildings, the creation of an additional set of design guidelines that complement this document, yet focus on the residential buildings should be considered. This document only outlines the importance of design guidelines and highlights the design review process, which will be lead by Washington's Historic Preservation Commission, which has the power to interpret the guidelines. While the HPC will be making final decisions regarding proposed changes in the district, these guidelines serve as a framework to ensure consistent decision-making that will continue to preserve the character of the historic district. The guidelines exist also as a resource and educational tool for city residents, to foster a sense of pride in the history of their City and pride in their community that will inspire the maintenance and beautification of historic properties in the historic district in the years to come.

Benefits of Historic Preservation

Historic preservation in the planning process has many benefits that make it an important part of community planning. One of the most convincing pieces of the preservation conversation is the amount of economic benefits due to preservation, some of which are outlined below.

1. Historic buildings often last longer than newly constructed buildings. Through the rehabilitation of historic buildings rather than demolition and new construction, buildings generally experience a longer life-span due to higher quality materials and structural soundness of historic buildings. If new buildings are to be constructed, not only do they present shorter life-spans, but they also present potential problems with rehabilitation of the structure in a shorter amount of time.

2. Historic preservation creates jobs. In fact, more jobs are created through historic preservation and rehabilitation of buildings than new construction. Preserving a building is extremely labor intensive, with over 60% of the costs going to labor, which is beneficial for the local economy, especially for skilled artisans such as carpenters, electricians, painters, etc. Many times, these projects are also able to hire local workers meaning that the money is returning to the local economy. New construction, on the other hand, typically generates jobs for a wider amount of fields such as engineers, attorneys, and real estate brokers, many times that are brought in from places other than the local community. This takes potential money out of the local economy and does not provide employment for the local community members. Furthermore, new construction requires much larger amounts of new materials whereas the rehabilitation of historic structures means the rehabilitation of the existing resources, which are more likely to be purchased locally rather than shipped to the location for new construction.

3. Commercial buildings, such as those in the Washington Square Commercial Historic District are important economic assets to the community and the design review process will ensure that investment into these buildings will be protected. Over time, the property assessment values will at least stay the same but will likely increase, making it an

Benefits of Historic Preservation

attractive area for potential new buyers and business owners.

4. Historic preservation is a sustainable and “green” approach to revitalizing communities. The greenest buildings are those that already exist. Rehabilitation of existing structures means that energy for the creation of new building materials will not be expended, and debris from a demolition, which can be up to 30% of all materials in a landfill, will not make it to the landfill. Instead, preservation and rehabilitation prevent a wasteful loss of materials and energy, and creates a more positive impact on the environment than the construction of a new building.

5. Historic preservation also encourages tourism in the immediate historic district as well as the community as a whole. This means that revenue from tourism increases, but more money is also spent in the businesses and restaurants in the downtown area. Washington’s unique history and culture will create a unique experience for visitors, something that future planning should capitalize on to continue attracting more and more visitors. A greater amount of tourists also means that there will be a higher demand for tourism jobs in the community, specifically focusing on heritage tourism. The design guidelines will further reinforce the attractiveness of the historic downtown by maintaining the character and making the aesthetic more attractive to tourists.

6. Overall, promoting historic preservation means promoting a higher quality of life. Historic buildings highlight the city’s past, differentiating it from any other community and instilling pride and a sense of place in the Washington community members. This will inspire the community members to become more involved in activities involving the history of the City as well as activities in the historic district. The historic buildings in the Washington Square Commercial Historic District also provide a centralized cluster of pedestrian-friendly shopping and dining.

Benefits of a Local Historic District

While protected only at the local level (including a couple National Register properties), the Washington Square Commercial Historic District highlights the historic center of the City. The City of Washington has the ability to adapt the district, its guidelines and regulations to the specific needs and identity of the community. This local district also has the capability of working more directly with the property owners to ensure that the process of design review as well as possible financial incentives are more clearly outlined and easily accessible so that the property owners and community are benefitting from the preservation of the downtown. While this local historic district emphasizes the importance of maintaining the character of the place in order to keep the history alive within the downtown, it also recognizes that the community is constantly changing, meaning that there are many important benefits to a local historic district designation including:

- 1.** Protecting the significant historic properties through a design review process in addition to protecting the protection of the district as a whole creates a stronger sense of cohesion, leading to public appeal and support of the district.
- 2.** Through the protection of the properties via the design review process, this also protects the investments of the property owners, making the historic downtown a more desirable place to locate ones small business. Over time, the maintenance of the historic character will reassure potential buyers of the attractiveness of a particular area. While it may slightly change over time, the design guidelines will protect the district and will be promoted by tourism agencies as well as real estate agents.
- 3.** The design review process and design cohesion will promote business activity within the historic downtown as the area will become a more attractive place not only to open and maintain a business, but to spend increasing amounts of time in.
- 4.** While many projects already require a building permit, there are still a variety

Benefits of a Local Historic District

of projects such as replacement of windows, doors, gutters, and repainting that are just as important to the aesthetic of the historic district, that currently do not go through a design review process. The creation of the historic district and design review process will ensure that these projects that are vital to the character of the historic district will also encounter a design review before they are approved, ensuring increased aesthetic cohesion within the community.

5. On a larger scale, buildings applying for demolition permits will also need to go through the design review process, which may prevent possible demolition of important historic structures. Delaying the demolition process through the need to participate in the historic district design review process means that additional time to find preservation alternatives is possible, which will ultimately maintain more historic structures in the district.



History of Washington

The City of Washington, Illinois has a rich history spanning almost 200 years. Washington Square, the heart of the historic downtown, specifically illustrates a history of shops, banks, and doctors that all played key roles in the establishment of the town as a whole. The Square today retains the majority of the original architecture from its establishment in the 1830s, and has been the site for many important community events over its 185 years. In addition to its role as the central business center, the Square was used as a meeting place during the Civil War, and was also an important stop on Abraham Lincoln's campaign trail.

This historic commercial district contains 29 properties, all of which are commercial buildings except for the Zinser House and neighboring doctor's office. The majority of the buildings in this compact commercial district remain the original structures and provide a diverse, yet cohesive array of architectural styles.

The City of Washington was officially founded in 1825 with the Holland family's settlement just outside of what is now the Washington Square. First titled Holland's Grove, 13 families moved to the area by 1830, living in log cabins throughout the area. Renamed Washington in 1834, the growing city established the Washington Square for commercial business purposes, as it was the highest ground in the center of the cluster of the log cabins.

At the top of the hill in the Washington Square was a cluster of primarily commercial buildings including dry goods stores, a hotel, and a blacksmith shop. As Washington grew, the Square saw many other functions such as banks, pharmacies, city buildings, and a public meeting space concentrated primarily in the central plaza.

Charles Dorsey built the first store near the Square in 1831, which was used as a store and residence. In 1834, Dorsey built a two-story frame building where Charles Anthony and Henry Denhart would build their bank 40 years later. Buildings continued to fill in the Square, with Titus and Hungerford building the first hotel in 1834, which then became the Sherman House.

History of Washington

In 1840, a public well was constructed in the center of the Square, making the Square an even more important part of daily life. Wooden hitching posts and mud streets originally surrounded the central space of the Square, grass was planted in the 1880s, with the Washington Women's Club planting trees. Brick streets were constructed in 1902, and cement coping replaced the wooden hitching posts in 1925. Another important feature of the Square was succession of three bandstand structures, the first of which was constructed in the 1860s of wood. Weekly summer band concerts were a major event until the brick bandstand was demolished in 1959, which was replaced by a lighted water fountain in 1963, which remains today.

Although not a commercial building, the Zinser House, already listed on the National Register, was built in 1858; its close proximity to the Square and the neighboring building's function as a doctor's office made it an important stop for many Washington families.

The Richard D. Smith Dry Goods Store at 117 Washington Square began in 1859. The building was sold to Anthony and Denhart and later functioned as Holland's Barber Shop and Pool Hall, and Land's Mensware. The building is currently Holland's Mercantile, and is owned by direct descendants of the Holland family that founded Washington. Today, this is the oldest building on the Square.



Richard D. Smith Dry Goods Store

History of Washington

The Elijah G. Chaffer Hardware business, at 114-118 Main Street opened in 1857 and ran a full line of farm implements, cooking and parlor stoves. Elijah bought the business and constructed the buildings on the west side of the Square in 1887; the business occupied three storefronts and was one of the largest hardware and implement stores in Central Illinois in the late 19th/early 20th centuries.

The Denhart Bank Building, on the corner lot of the north side of the Square – 101 Washington Square – remains one of the most well-known buildings on the Square and is listed on the National Register of Historic Places.

Anthony and Denhart bought Richard Smith's Dry Goods Store in the mid 1860s, and continued with the operation of the original business, while also starting banking businesses in the rear of the store. With their successful banking business, the pair built the Denhart Bank Building to the west of the Dry Goods Store in 1875. The business continued until 1930, closing with the onset of the Great Depression. The building was purchased by Washington native, Rae Heiple, in 1948, who opened the Washington State Bank. While the Denhart Bank Building has experienced many uses in the past 60 years, after the Washington State Bank moved to the west side of town, it currently functions as the Cornerstore Inn Bed and Breakfast, the Denhart Baking Company, and the C-Note Pub.



Denhart Bank Building, now Denhart Baking Company

The Zinser/Steimle Drug Store on the west side of Washington Square was built in 1868 by Israel Zinser and taken over by his son Elmer in 1901. In addition to the drug store, the AirDome was started behind the building in the early 1900s and functioned as an outdoor movie venue in the summer months. Frank Steimle bought the store in the 1920s and was in operation until 1959 as a soda fountain and ice cream shop. In 1931, a fire destroyed the corner store of the property (at the corner of Peoria and Main Streets); after the fire, the lot functioned as Slonneger's gas station, which later became a Texaco station. Currently,

History of Washington

Foster's Jewelry Store operates in the old pharmacy building and Maloof Realty replaced the gas station.

The third of the main drug stores in Washington Square was the Alphonso Drug Store at 105 Washington Square, opened in 1875. The business originally began behind the Denhart Bank, but moved when Anthony and Denhart erected a new building east of their bank. In 1959, a fire left only a shell of the building. The building was rebuilt and business resumed until 1973 when it was bought and occupied by Merle Normans.

On the southwest portion of the Square along Main Street, the W.A. Pfeiffer Building (110 S. Main St.) was finished in 1890. Mr. Pfeiffer opened a dry goods and clothing store and bought the four adjacent buildings, known as the “Big Store”. The multiple storefronts with the same brick detailing were built in the 1890s to create the cohesion between the sections of his store. The buildings later were the home to bakeries, grocery stores and hardware stores. Currently, the businesses along this southwest end of the Square include a tavern and an accountant's office.



*The “Big Store”: W. A. Pfeiffer Building
on the west side of the street*

The Danforth Bank Building, at 128 Washington Square (east side), was built in 1897 by the Reich family to house the Schoenheim Saloon. Soon after, Almon Danforth bought

History of Washington

the building in the early 1900s, and it remained the Danforth Bank Building until it was bought by Heartland Bank in the 1970s. The AG Danforth Bank was originally started in 1848 in another location before moving to the east side of the Square. The original west façade of the building is from 1897 and was restored in 2009 to its original appearance. The façade is comprised of three large brick arches, a cornice with iron railing, and a triangular pediment with the inscription “Welcome 1897.”

Between Elijah’s Hardware Business and the Steimle Drug Store was the Henry Esser Building, at 108 N. Main Street. Esser opened the Model Grocery Store in 1902, taking orders of residents and buying/selling in large quantities. A disastrous 1920 fire completely destroyed the store; although Esser rebuilt the store, he never reopened his business and the building passed through many operations before becoming a photography studio.



Stores along the northwest side of Main Street, including grocery and drug stores

While the function of the Square has changed over time, especially in the 1950s and 1960s with the construction of strip malls on the edges of Washington, the Square remains a central part of life in Washington.

Events, Activities, or Patterns:

Prior to the settling of the area by William Holland and his family, Potawatomi Native Americans lived in the area. In fact, Holland deeded a section of Washington by President

History of Washington

VanBuren to develop the area, and was also contracted by the government as a blacksmith for the Native Americans, prompting his relocation to west-central Illinois. During the Civil War, the Washington Square served as an important meeting place for townspeople. The Richard D. Smith Dry Goods Store functioned as a place for men to meet in the evenings to hear the news of the War.

Association with Important Persons:

In the mid-1800s, Abraham Lincoln was a frequent visitor to Washington, Illinois. He frequently traveled through the Square on his way to political meetings and speeches and stayed overnight in the Square during many of his trips. Leading up to his presidential nomination in 1860, Lincoln used Smith's Dry Goods Store to hold planning meetings. Lincoln also gave many speeches in Washington Square, one of the most famous being during his campaign with Stephen Douglas. For this speech, Lincoln spoke in a tent in the Square, so all Washington residents could attend.

Another noteworthy Washington Square city visitor was Congressman Henry Riggs Rathbone of Chicago. Although many Congressmen spoke during Washington's 100th Anniversary Event on August 11 – 13, 1925, Congressman Rathbone was the best lecturer about Lincoln, as his family was personal friends with Lincoln. During the Weekend Anniversary events, Rathbone spoke in the outdoor pavilion in Washington Square; a telegram from President Calvin Coolidge was also read during the weekend, congratulating the town on its 100 years.

Distinct Physical Characteristics:

While many of the original buildings on the Square exist, renovations throughout the years have improved the overall cohesion of the Square. The renovation of the Denhart Bank Building restored the Italianate architectural style of the original building, a common architectural style throughout the Square in buildings constructed between 1855 and 1880. Similarly, the Alphonso Drug Store also on the north side of the Square, displays the Italianate architecture and large display windows.

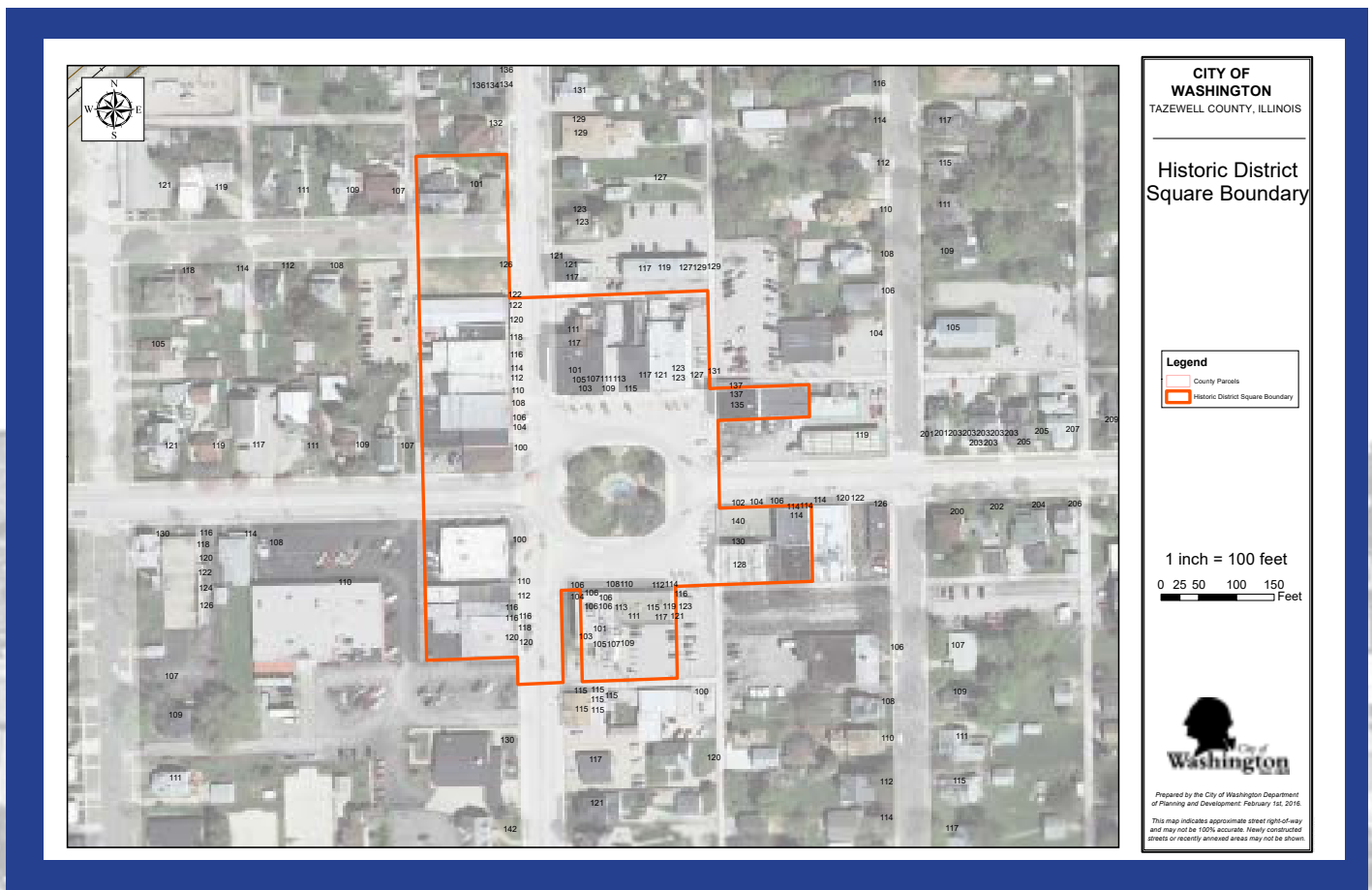
Washington Historic Preservation Ordinance and Historic Preservation Commission

The Washington Historic Preservation Ordinance was adopted in 2007 and shows Washington's commitment to preservation, both in this Commercial Historic District and in preservation as a goal moving forward in planning. The purpose of the ordinance is to “promote the protection, enhancement, perpetuation, and use of improvements of special character or historical interest or value in the interest of the health, prosperity, safety, and welfare of the people of the City of Washington”. This will be done in a variety of ways including education, promoting civic pride, highlighting the economic vitality of the Square, and using promoting the historic character to bring in more business. The logistics of the Historic Preservation Commission as well as the process for property owners to apply for a Certificate of Appropriateness are outlined below.



Washington Square Commercial Historic District Map

The boundaries for the proposed Washington Historic Commercial Square extend roughly north to Zinser Place (including the Zinser House), south to Danforth Street, just east of Ford Lane, and west of Main Street to include the structures on the West of the Square. Additional information regarding the year that each property was constructed is available in the Planning and Development Department.



Washington Historic Preservation Commission

a. Establishment

The Washington Historic Preservation Commission is a group consisting of seven voting members who are appointed by the Mayor and approved by City Council. These members are residents of the City of Washington and are appointed based on their expertise, experience or interest in the areas of architectural history, building construction or engineering, finance, historical and architectural preservation, neighborhood organizing and real estate. The HPC members are appointed for three year terms, with no member serving more than two successive three year terms. If a vacancy should arise, it should be filled for the unexpired term only. Within the seven members of the HPC, there are additional designated duties such as Chairman, Vice-Chairman, and Secretary, elected internally within the HPC to ensure for the smooth operation of the commission.

The HPC will utilize these historic district commercial guidelines to assist in their decisions regarding Certificate of Appropriateness applications (described below). The HPC will work with the Planning and Development Director to assess incoming COA applications as well as to pursue future activity regarding preservation, whether it is educational events throughout the City or exploring possible future designations and the creation of additional historic districts.

b. Certification of Appropriateness

Buildings and structures within the Washington Square Commercial Historic District must apply for and receive a Certificate of Appropriateness (granted by the HPC) prior to starting their planned work. The COA form ensures that the work to be done meets the guidelines and enhances the character of historic Washington. Depending on the project proposed, a Building Permit may also be necessary. A Building Permit and a COA form are separate items with the Building Permit ensuring the structural soundness and safety of a building.

Washington Historic Preservation Commission

c. Design Review Process: COA and HPC Operation

A Certificate of Appropriateness is required for any exterior changes visible from the public right of way. While maintenance and minor actions such as deterioration or damage to a structure may not require a COA form, it is always advised to check with the Planning and Development Director or the HPC first to ensure that a project will not need additional approval of a COA before beginning. For projects including demolition, moving of a building, change to the exterior appearance (mainly focusing on the alteration of architectural details), new construction, and the alteration of signage and other components related to a façade, a COA will be needed. The COA must be completed and approved prior to beginning any work. This application may be obtained in the Planning and Development office in City Hall or on the City's website. In addition to the completion of the form, the COA must include a description of the property, drawings/photos/sketches to give the HPC a better understanding of the proposed changes, and 10 copies of the application and the supporting materials. Prior to the HPC meeting, notification of the proposed project shall be presented via signage in the front window of the establishment. This sign must be present at least 10 days before the meeting so that neighboring property owners are aware of the project and can ask any questions of the property owner, the Planning and Development Director, or the HPC about the project. Upon completion of the forms, the COA will be reviewed by the HPC prior to the next meeting and will be discussed at the meeting. The property owner and/or the contractor must be present at the HPC meeting to answer any questions that might come up about the project. During the HPC meeting, after there is discussion among the members regarding the project and how it fits within the guidelines, there will be a vote by the HPC to determine whether the proposed project is appropriate (action will meet the design guidelines and will promote the historic character) and will be approved or if there are required changes that must be met prior to approval. If such changes are necessary, the HPC shall draft a statement of required changes that would be more compatible with the historic district and give those to the property owner/contractor. A revised version of the COA can be submitted and discussed at the following HPC meeting for determination of whether the project then meets the standards of the historic district.

Washington Historic Preservation Commission

Overall, the HPC's enforcement of the COA process and their leadership of the design review process for the Washington Square Commercial Historic District is to emphasize the focus on the historic character of the Square. The HPC emphasizes preservation and restoration over repair, repair over replacement, and replacement with similar materials only when repair is not feasible. The HPC recognizes that every project is different and every property owner has a different financial ability to carry out their projects. With this in mind, the HPC uses these guidelines as a structure for their decision-making while maintaining flexibility in their determinations, ensuring that projects will continue to enhance the historic character of the Square while making sure all property owners are able to continue the maintenance and improvements to their individual properties. Additional assistance shall be provided by the Planning and Development Director and the HPC if needed for property owners that are in need of further project assistance. Materials can also be found in the Historic District Resource Book which will be available on the City's website. Finally, this design guidelines document follows the guidelines established by the "Secretary of Interior's Standards for the Treatment of Historic Properties" which are used throughout the country as a basis for local design review guidelines.



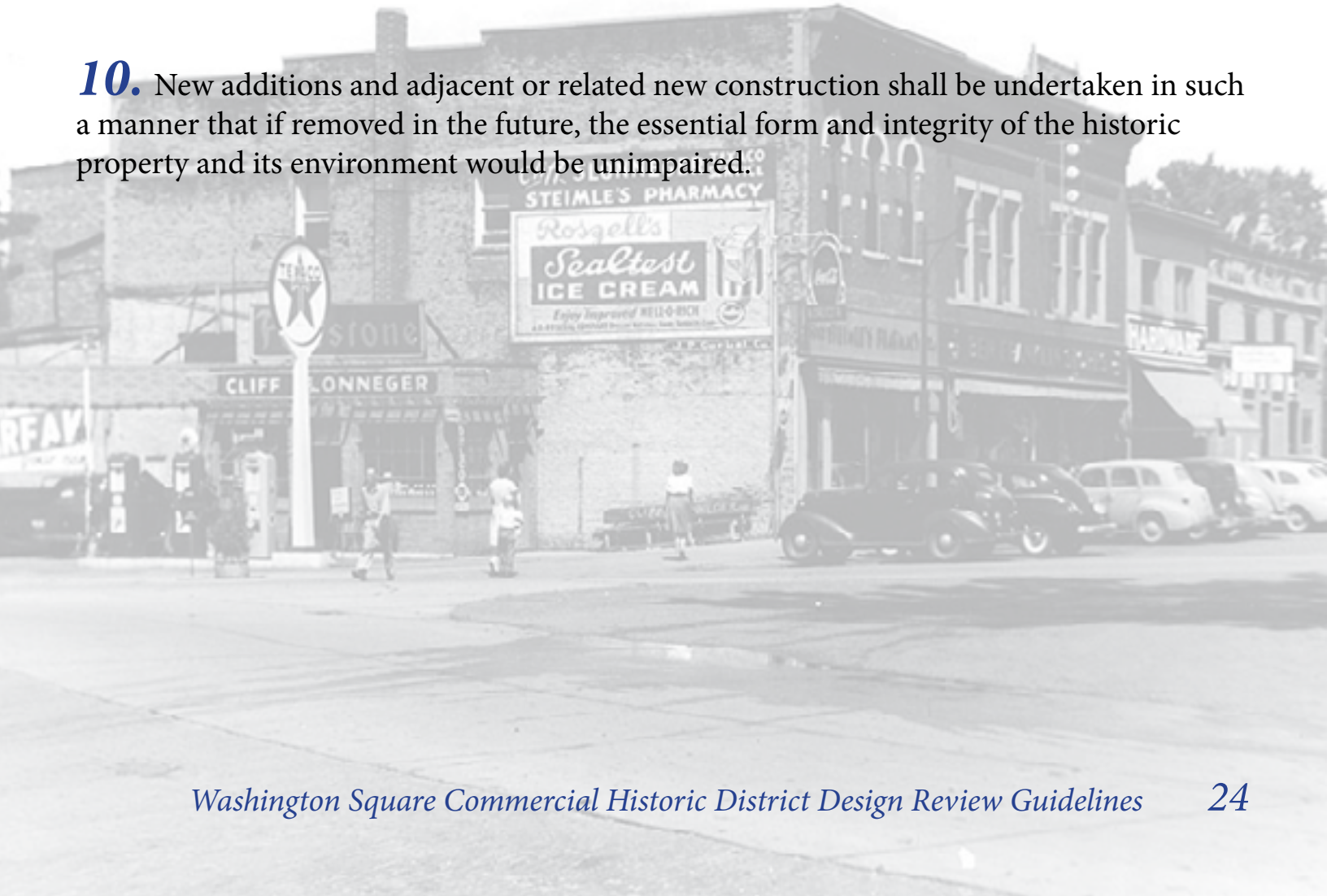
Secretary of the Interior's Standards for Rehabilitation

This set of Commercial Design Guidelines reflects the values established by the Secretary of the Interior's Standards for Rehabilitation. Whenever possible, the HPC will use these as guiding principles, in addition to the more specific information outlined by architectural elements and features.

- 1.** A property shall be use for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site environment;
- 2.** The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided;
- 3.** Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken;
- 4.** Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved;
- 5.** Distinctive stylistic features or examples of skilled craftsmanship that characterize a building, structure, or site shall be treated with sensitivity;
- 6.** Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities, and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence;

Secretary of the Interior's Standards for Rehabilitation

- 7.** The surface cleaning of the structures, if appropriate, shall be undertaken using the gentlest means possible;
- 8.** Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken;
- 9.** New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment;
- 10.** New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



Architectural Elements Outlined in Washington's Historic Preservation Ordinance

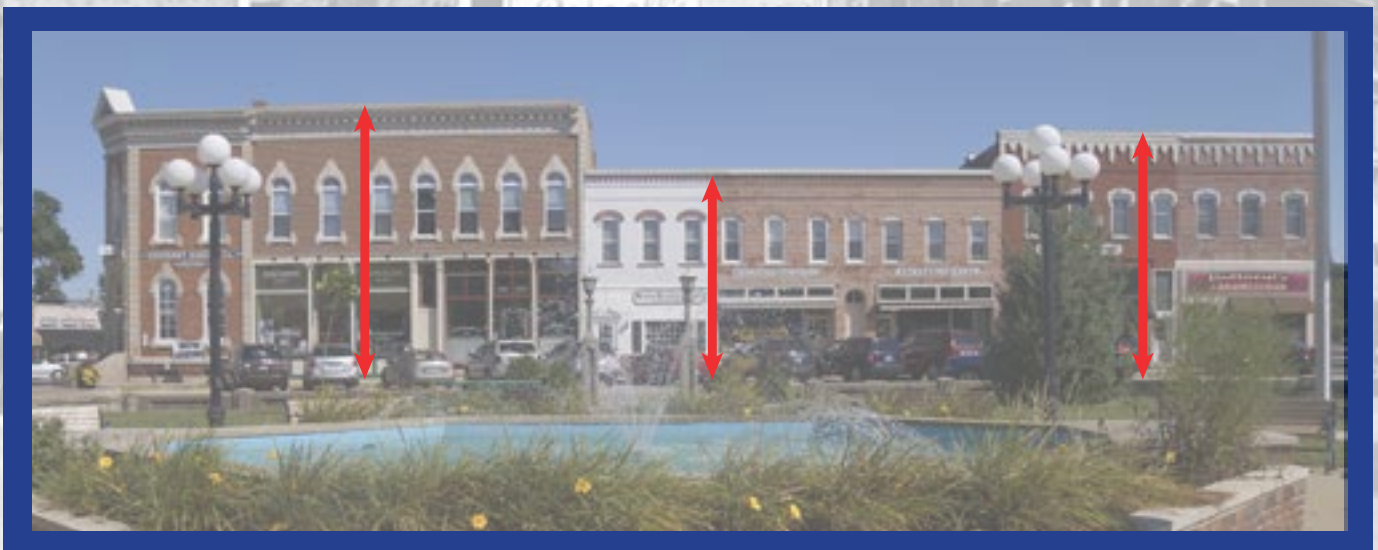
The Washington Historic Preservation Ordinance outlines a variety of elements that are crucial to maintaining the historic character of the downtown area. The following pages outline these features and provide a more in depth definition and guidelines to follow when considering changes to a historic structure. Additional elements will be discussed after this section. Also important to keep in mind is the complementary Resource Book, which provides helpful descriptions of how to analyze architectural details and structural components of a building before making any changes. The Resource Book also provides lists specialists that can assist in the maintenance, cleaning, and reconstruction of specific architectural elements of a structure.



Height

The height of any proposed alteration or construction should be compatible with the style and character of the landmark and with surrounding structures in a historic district.

- 1.** For small alterations and construction projects including, but not limited to, the repair of a building, a rear addition, or the addition of an attached side building, the height shall match the height of the existing structure as closely as possible.
- 2.** Infill buildings follow the same logic and shall be compatible with their surrounding structures. These new buildings are not to differ from the surrounding structures by more than one story.
- 3.** In general, the north, east, and south sides of the Square support the alteration and construction of two-story structures. These structures differ slightly in height depending on the use, but their facades directed toward the interior of the Square all display two-stories with windows on both stories.



The north side of the Square represents structures that differ in height, but not to extreme degrees. Should unforeseen circumstances cause one of these buildings to be destroyed, a building of similar height would need to replace it.

Height

4. On the west side of the Square, buildings on the north side generally display this same two-story characteristic. On the south side of the west side of the Square, buildings generally support a one-story exterior façade, with interior space for a possible second story. While these buildings may only display one story to the exterior viewer, there is significant architectural detailing above many of the entryways, almost reaching the height of a second story.

5. The architectural style of the notable historic structures in the Square is of the Italianate style, best displayed by the architectural features on the north side of the Square. While new construction and infill will not be required to be designed in an Italianate style, similar features and style are encouraged where possible.



Proportion of Windows and Doors

The proportions and relationships between doors and windows should be compatible with the architectural style and character of the landmark.

- 1.** In repair or new additions to a building, it is important to let the existing structure inform the characteristics of the new portion. If the new structure faces the Square, it is important to include doors and windows, consistent with the spacing already established.
- 2.** The windows on the second story of a building are many times slightly smaller in height, but should continue to reflect the style (in size, opening, and architectural detailing around the window) of the first story windows. While these are many times less ornate in detailing, the repetition of size and style brings more cohesion to the overall design of the Square, reinforcing the historic character.



The north side of the Square presents a good example for the consistent relationship of windows and doors between a variety of buildings, creating a rhythm on the complete facade on that side of the Square.

Proportion of Windows and Doors

3. For infill construction, the design should be informed by its neighboring buildings. While the new building does not necessarily need to replicate the exact style and massing of its neighboring structures, it does need to consider the positioning and size of the door as well as the windows on the front façade. Ultimately, the goal of proportioning windows and doors on infill construction is to make the transition look as seamless as possible between the historic structures and the new building.



Relationship of Building Masses and Spaces

The relationship of a structure within a historic district to the open space between it and adjoining structures should be compatible.

1. Along the Square, the facades are continuous, especially on the north, south, and west sides. The east side has fewer buildings and does not experience the aesthetic of no space between buildings and their storefronts. However, it is still important to keep in mind that the buildings on the east side to the north and south of Walnut Street also do not provide spacing between their building facades. This continuous façade, whether through two storefronts or ten storefronts, is characteristic of the Washington Square commercial downtown.

2. Open space throughout the Square is maintained through the variety of passageways to and through the Square, including the entrance to the public parking lot on the northeast corner of the Square.



The west side of the Square shows a continuous facade with varying, but complementary, building heights.

Relationship of Building Masses and Spaces

3. Important to keep in mind is that the relationship between neighboring buildings is extremely important, as well as the size of the spaces that create the passageways through the Square. Currently the passageways serve as a secondary element to the historic structures. However, they are extremely important for the functionality of the Square. As a secondary element, the spacing should be kept relatively small in size compared to the structures in order to bring more attention to the historic structures.



Like the west side of the Square, the north side also shows a continuous facade with facades that have been preserved. While not all the buildings are the same height, the variety in building heights provides interest in this continuous facade, and also maintains the historic accuracy of the buildings.

Roof

The design of the roof, fascia, and cornice should be compatible with the architectural style and character of the landmark. The roof helps determine the building style and is an important component of the historic appearance.

- 1.** The historic roof shaped should be retained. Most roof forms in Washington are flat. However, a slight pitch to a newly constructed roof is permitted to assist with drainage, as long as said roof is not extremely visible from the public right of way and does not take away from the historic building style and appearance.
- 2.** If at all possible, the existing materials of the roof should be maintained and retained.
- 3.** Roof related architectural detailing and features such as parapet walls, cornices, brackets and chimneys should be retained.



The roofline of the northwestern side of the Square shows flat roofs that do not appear from the street view.

Roof

4. Any new roof elements such as balconies, satellite dishes, and skylights should not be visible from the street. These elements are more appropriately placed at the rear of the structure.
5. Maintain historic roof materials such as slate and sheet metal where they are visible from the street.
6. If the replacement of the roof with modern materials is the most viable option, the public visibility of this roof should be limited.



The roofline for the north side mimics that of the west side of the Square in that the flat roofs cannot be seen from the public right of way. Features such as chimneys can also be seen from this perspective, which can be maintained with the historic flat roof.

Landscaping

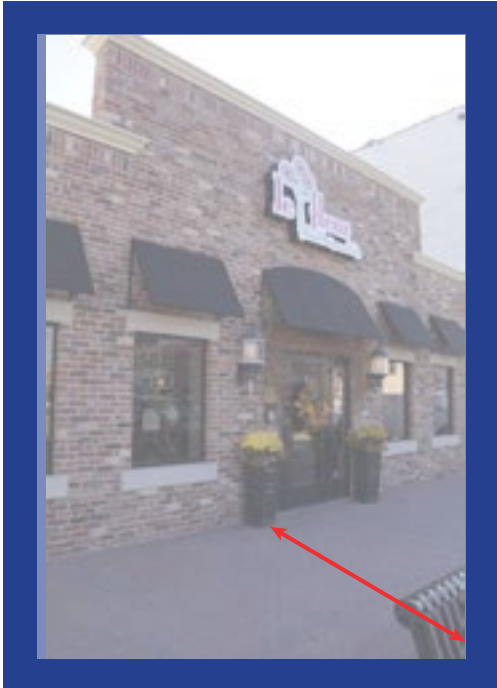
Landscaping should be compatible with the architectural character and appearance of the landmark. Streetscape elements should compliment the historic character of the Square and make it a safe and aesthetically appealing place for residents and visitors.

- 1.** Flowerboxes on a storefront façade should utilize live plants and should be historic in nature. Boxes made of wood are encouraged. Flowerboxes should be well maintained, both in the maintenance of the plants themselves but in the upkeep (painting and repair) of the boxes.
- 2.** Planters in front of a store are permitted, but should not obstruct sidewalk traffic. These should be placed close to the façade of the structure as the City has its own planters that will be placed closer to the edge of the sidewalk.



The landscaping in the center part of the Square is maintained by the city.

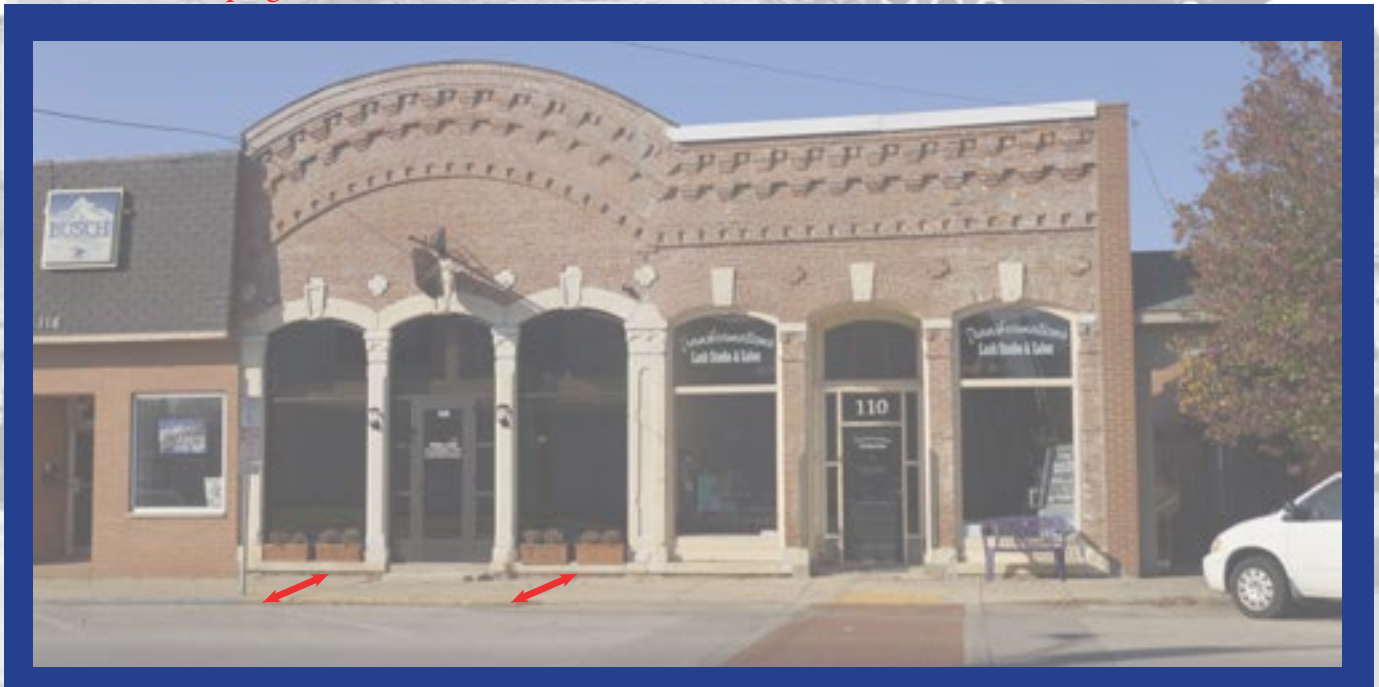
Landscaping



Planter boxes outside the entrance to le Fleur provide visual interest while keeping the sidewalk clear.



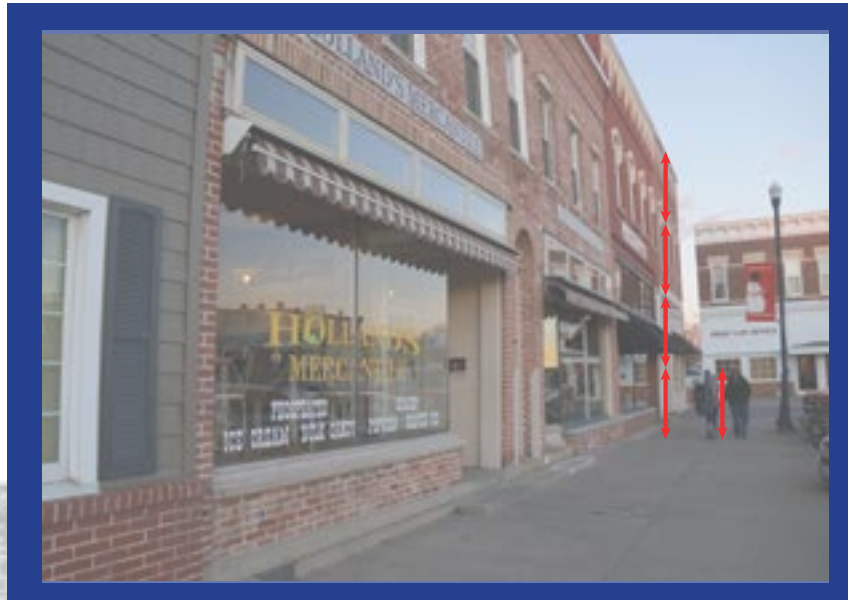
Planters and benches provided by the City are scattered throughout the Square.



Planter boxes on the southwest side of the Square show a successful solution to landscaping. These planters provide a small space for plantings while keeping the sidewalk clear of any obstructions.

Scale

The scale of the structure after alteration, construction, or partial demolition should be compatible with its architectural style and character and with surrounding structures in a historic district.



In addition to appropriate scale for surrounding structures, construction within human scale is also an important consideration.



Post-rehabilitation and reconstruction revealed a historic facade that is appropriate to modern facades in scale. Future changes to buildings should take this as an example and strive to stay in an appropriate scale to surrounding buildings, and stay within the historic character of the Square.

Directional Expression and Storefronts

Facades in historic districts should blend with other structures with regard to directional expression. Structures in a historic district should be compatible with the dominant horizontal or vertical expression of surrounding structures. The direction expression of a landmark after alteration, construction, or partial demolition should be compatible with its original architectural style and character.

1. Historic storefronts should be retained, maintained and repaired if needed; historic storefronts should not be covered or concealed. These historic storefronts are extremely important to the historic character of downtown Washington and should be preserved when at all possible.

2. Historic information regarding the original appearance of the storefront should guide the restoration or rebuilding of historic storefronts. Such materials can be found in the Washington Historical Society or in the Planning and Development Department in City Hall.



This storefront facade shows a successful combination of historic elements and modern amenities, and stays in character and proportion with its neighboring stores.

Directional Expression and Storefronts

- 3.** If a storefront has deteriorated, components should be restored to their original appearance. While historic materials are not required, materials of similar appearance (such as color, texture, pattern, etc.) should be used where at all possible.
- 4.** Historic examples should also guide storefronts that have been missing and are being replaced. While each storefront is unique, these storefronts being replaced should be complementary to their neighboring storefronts in scale, style, and proportion.



The north side of the Square shows a variety of storefronts that are all well maintained and have unique characteristics while still remaining a very cohesive, continuous facade.

Architectural Details

Architectural details including types of materials, colors, and textures should be treated so as to make the landmark compatible with its original architectural style and character of a landmark or historic district.

- 1.** The architectural details of a historic building help define its character and should therefore be retained, maintained and repaired to match the original features as closely as possible.
- 2.** Historic architectural details should not be covered or removed.
- 3.** When repair is necessary, safe methods of cleaning and repair should be used to ensure that the features will not be damaged and will retain their historic character.



Details on the Skillsrout building including cornice work and trim around windows are well maintained and provides beautiful decorative features on the large historic facade.

Architectural Details

- 4.** Architectural details should not be added to a storefront where there is no historical evidence to support their previous existence. The addition of architectural details should be supported by historic materials showing evidence of the original storefront.
- 5.** For new infill construction and development, architectural details should match the overall style of the structure and the character of the Square. The details should not be over-utilized but should replicate important features such as decorative window cornices, front pilasters, and glass transoms on the storefront displays.



Architectural details along the north side of the Square provide unique elements for each storefront. As this side is one continuous facade, these elements help to distinguish each storefront.

New Construction

New structures in a Historic District shall be compatible with the architectural styles and design in said districts. New construction is welcomed as long as it reflects the existing historic character of the commercial district. The characteristics, architectural detailing, size, and proportions of new structures and additions should be harmonious with the existing structures. Ultimately, new construction should not take the focus off the historic structures. The purpose of this section is to present guidelines for new elements to the district and to encourage design and quality that reflects the historic character of the surrounding district.



Infill Buildings

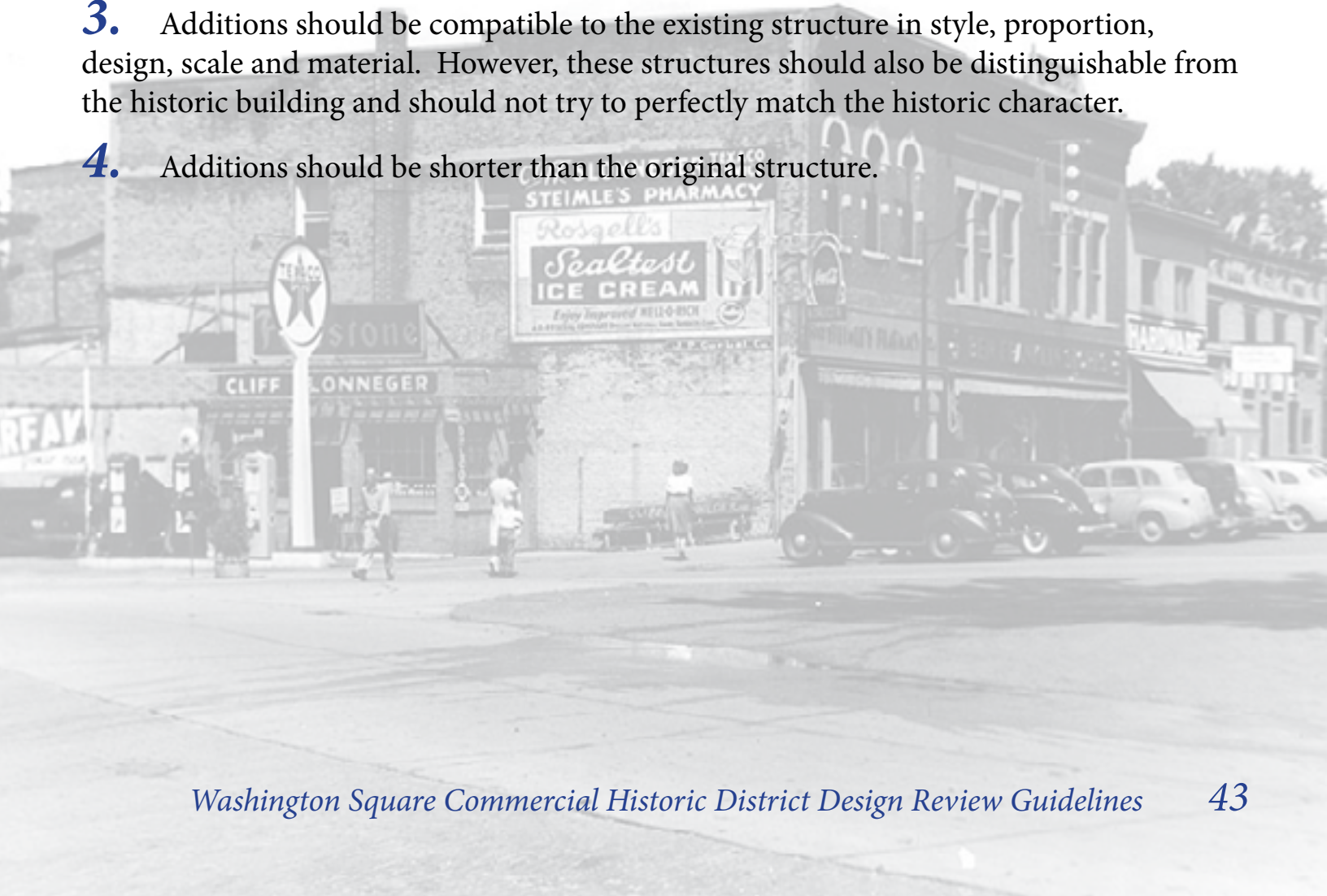
Where historic buildings have been lost or if there are vacant lots, infill buildings may be considered if they add to the streetscape, promote economic development, and reflect the historic style of the surrounding buildings.

- 1.** New construction should utilize existing setbacks established by adjoining buildings. Most buildings in Washington utilize zero-lot-line conditions (no front or side setbacks).
- 2.** The back of the building, while not as important as the front façade, should generally match the adjoining buildings in building setback.
- 3.** New construction should be oriented toward the Square.
- 4.** The height and width of the new building should be compatible with the adjacent buildings. In Washington, with a continuous façade in most parts of the downtown area, this means that the width should occupy the entire opening, if a building is to be located between two existing structures. The height should be one or two stories, depending on the side of the Square that the new construction is taking place.
- 5.** The roof form should reflect the roof forms of neighboring structures, most often a flat roof.
- 6.** The new construction should be contemporary but should also reflect the design of historic structures.
- 7.** If new construction is proposed to fill an area that historically is composed of multiple footprints, the front façade should have the appearance of traditional building widths rather than one large structure.
- 8.** Parking should be located to the rear of the building. Parking is also encouraged in marked on-street parking spaces in the Square.

Rear Additions

Rear and lateral additions are the most common recommendations for the location of an addition. These additions give additional space for property owners while still maintaining the historic character of the original façade by remaining invisible from the front façade.

- 1.** Rear and side additions should not damage the historic structure or remove important architectural elements. For instance, existing rear entrances should be utilized as a connection to the new addition rather than creating a new entryway.
- 2.** Additions should not be visible from the primary entrance and street façade.
- 3.** Additions should be compatible to the existing structure in style, proportion, design, scale and material. However, these structures should also be distinguishable from the historic building and should not try to perfectly match the historic character.
- 4.** Additions should be shorter than the original structure.



Roofline Additions

Rooftop additions provide further space for their owners, who can expand upwards. These additions should not be visible from the street and should use materials and design that are reflective of the historic character of the building.

- 1.** Additions on the roof should not be visible from the street.
- 2.** Additions should not damage the existing historic structure or remove any architectural details important to the structure.
- 3.** The roof form of the existing structure should be replicated on the rooftop addition, most likely a flat roof in Washington.



Decks

As important modern features, decks may be added with care to protect and not to detract from the existing historic structure. Decks are not allowed on the front façades of structures, and are recommended to be built at the rear or side of the structure, as long as they are not visible from the street.

- 1.** The recommended location for decks is on the rear elevation of the structure.
- 2.** If property owners wish to build a deck on a side elevation of their structure or on the roof of their structure, they must screen the deck so as to not be visible from the street. Depending on the location of the deck, this can be done through the use of plants, fences, or parapet walls.
- 3.** Decks should be constructed of wood or metal and can be stained or painted with colors compatible to their building's character.
- 4.** Decks must receive a building permit for new construction to ensure the safety of the structure before they are to be built.



This deck on the back of the west side of the Square is appropriate as it is not visible on the Square and is constructed of wood.

Ramps

To meet current ADA requirements, buildings that do not have street grade entrances must provide an alternative, more accessible entrance when a building undergoes a significant renovation or when public sidewalk improvements are completed.

- 1.** When at all possible, ramps should be placed on the rear elevations instead of main facades if space is available.
- 2.** Ramps should be constructed of concrete or wood and should be simple in design. If a ramp is to be stained or painted, it should be complementary to the building to which it is being added.



Additional Architectural Elements: Awnings

Awnings are a common historical feature in downtown Washington, and were used by many shopkeepers on their storefronts to provide shelter as well as heat and cool the building. While they are mainly decorative features now, they still remain an important aesthetic component to historic storefronts in downtown Washington.

- 1.** The addition of awnings to a storefront is appropriate if they are traditional in design, materials and placement. The color and design of the awning should complement the building and its color palette, always taking care to avoid harsh and bright colors.
- 2.** Awnings are typically installed directly over windows and entryways and can be one large feature or multiple small features. They can be installed on storefronts and upper façade windows.
- 3.** A variety of styles are possible but most awnings in Washington are fixed or retractable, and are of the shed style, all appropriate for the district.



There are a variety of styles of awnings throughout the Square; le Fleur uses fixed individual awnings on their storefront.

Additional Architectural Elements: Awnings

- 4.** It is preferred that awnings are made of canvas or a polyester blend rather than vinyl, metal, or wood.
- 5.** When installing awnings, it is important to not damage architectural features on a storefront, and to ensure that features such as transom windows are covered by permanent fixed awnings.



Hollands on the north side of the Square has a variety of retractable awnings, providing flexibility in their storefront.

Additional Architectural Elements: Brickwork/Masonry

The historic downtown Washington commercial area is characterized by a variety of brick buildings, which need proper care and maintenance to continue to look presentable. The keys to maintaining brick surfaces, which can last indefinitely, are to keep water out and apply a soft mortar where repairs are needed. Abrasive cleaning of brick should not occur.

- 1.** Repair rather than replace masonry materials unless it is impossible to do so.
- 2.** Masonry should be cleaned only when necessary to halt deterioration and with low pressure water and soft bristle brushes. Sandblasting or high-pressure water should only be used as a last resort, once the property owner has shown proof of trying other removal processes. To maintain the historic character of facades, sandblasting is discouraged especially on facades visible from the right of way.



While brick is a common material used along all storefronts on the north side of the Square, the brick can be altered in many ways to provide unique and distinguished facades to breakup the continuous storefront.

Additional Architectural Elements: Brickwork/Masonry

- 3.** Original brick surfaces should not be covered with materials uncharacteristic of the building such as stucco, plaster, siding, etc. Brick should also not be painted unless it was historically painted.
- 4.** If the exterior brick surfaces are already painted and it is a stable paint layer, repainting the exterior is appropriate.
- 5.** New masonry added to a building should be similar in appearance, color, and texture to the historic brick.

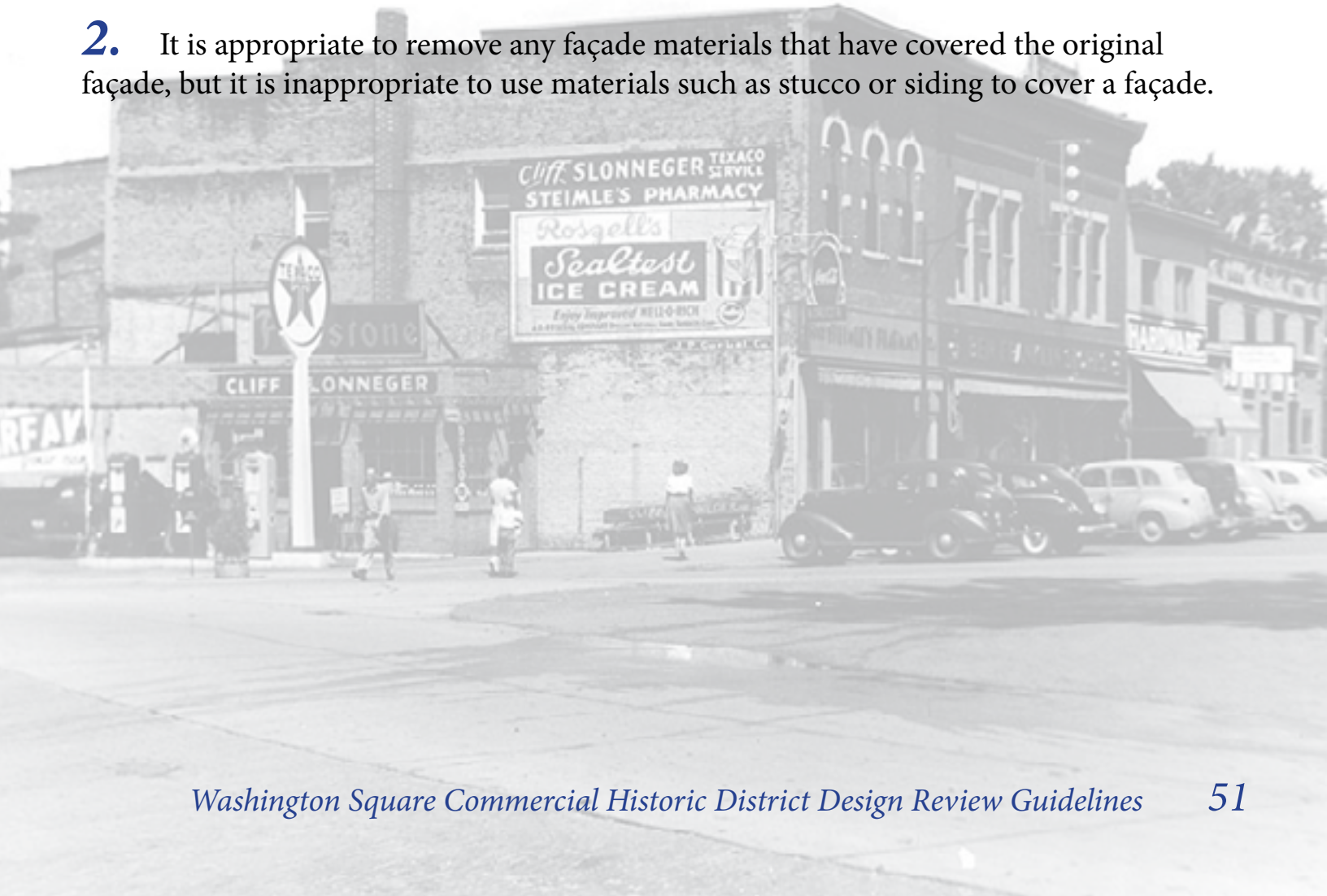


The removal of the modern storefront to reveal the historic brickwork during the rehabilitation of this west facade reveals important unique details of the historic facade.

Additional Architectural Elements: Building Material

The maintenance of the existing materials is most important on the existing buildings in downtown Washington. The majority of the buildings in the Square are brick or masonry, but some have been covered over the years with material such as siding. The restoration and maintenance of the original building material is most important.

- 1.** When replacing the exterior façade building material, it is important to be guided by the historic material of that structure. For instance, structures that are historically brick should continue to use brick, rather than switch to vinyl siding. While the material does not have to be exact, it should be replaced in-kind.
- 2.** It is appropriate to remove any façade materials that have covered the original façade, but it is inappropriate to use materials such as stucco or siding to cover a façade.



Additional Architectural Elements: Doors and Entrances

Doors are an important visual element to storefronts and should maintain their historic character through maintenance, restoration and repair. Upon renovation of the structure, doors that are not the original or that are severely deteriorated should be replaced with doors that match the historic character and style.

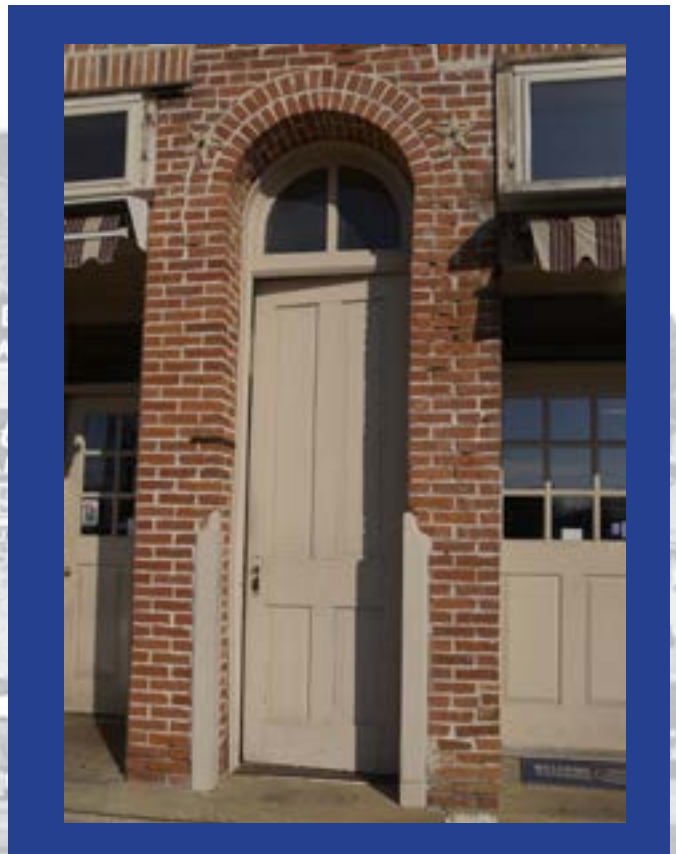
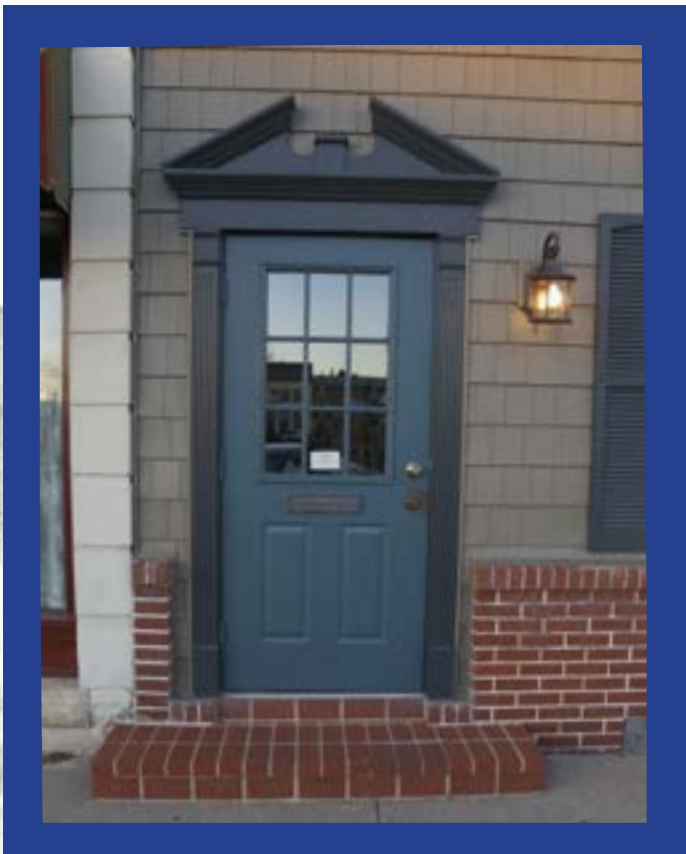
- 1.** Historic doors should be retained and maintained when possible.
- 2.** Primary entrances should meet ADA requirements, or an alternative entrance should be provided and maintained at the same standard.
- 3.** The replacement of deteriorated and damaged doors should be done so with doors similar in character, style and material. These new doors should not detract from the character of the building.



A variety of types of entrances are used around the Square; here, Holland's provides an accessible entrance with no step in front.

Additional Architectural Elements: Doors and Entrances

4. Raw aluminum and other silver-colored metal doors are not permitted.
5. All original features of original doors such as stained glass, beveled glass, or leaded glass should not be removed or replaced unless it is impossible to repair.
6. Recessed entrances should be maintained in the proper form, unless an original recessed entrance has been removed.



These single door entryways, although small, emphasize their importance based on unique architectural features, here seen using wood and brick detailing.

Additional Architectural Elements: Doors and Entrances

7. Doors and entrances should not be added to places on the building where they were not original.
8. Residential-style doors shall not be used in the commercial district.
9. Screen doors are permitted if they are complementary to the style of the building and have wood or aluminum frames. They must also be full view and not block the original door. Storm doors must also be full view and painted or finished to be as inconspicuous as possible. Security doors are only permitted in doors not visible from the street.

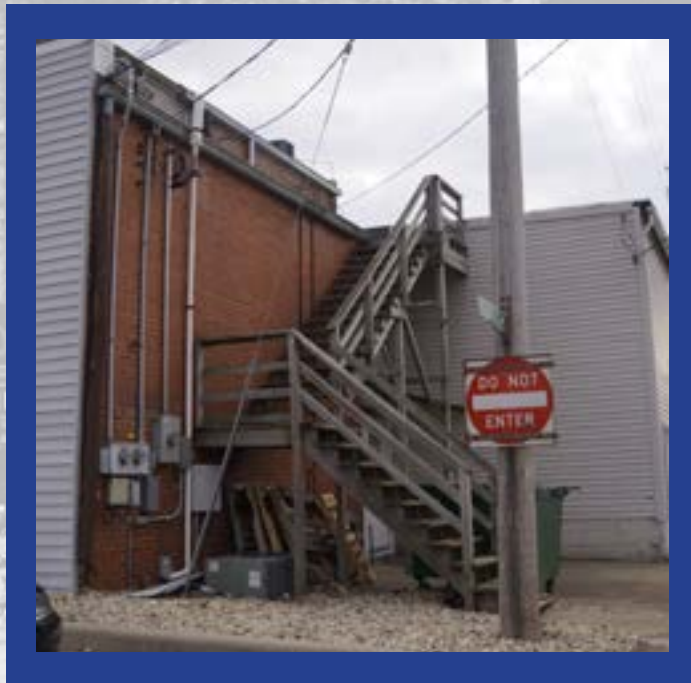


While not on the main part of the Square, Denhart's provides an ADA entrance on the west side of the building, and does not require a ramp or additional entrance in the historic building to be built.

Additional Architectural Elements: Fire Escapes and Staircases

Fire escapes are an important safety feature on buildings and are required by code for escape from upper floors. Because these are modern additions to buildings, it is important to keep them at the rear or side of the building and to be as invisible from the street as possible.

- 1.** Fire escapes or other staircases should be located on the rear or lateral elevations of a building so they are not visible from the street.
- 2.** The installation of fire escapes should not damage architectural features.
- 3.** Fire escapes may be open or enclosed.



This fire escape is built on the rear of the building and does not change the historic appearance of the Square storefronts; it is, therefore, a good example of how to construct a fire escape or staircase for a building on the Square.

Additional Architectural Elements: Gutters and Downspouts

Gutters and downspouts are important to maintain the integrity of the exterior materials by protecting buildings from water damage.

- 1.** Gutters should be used and maintained.
- 2.** Existing boxed or built-in gutters should be retained and repaired.
- 3.** When new gutters are needed, gutters that are half-round in design are most appropriate.

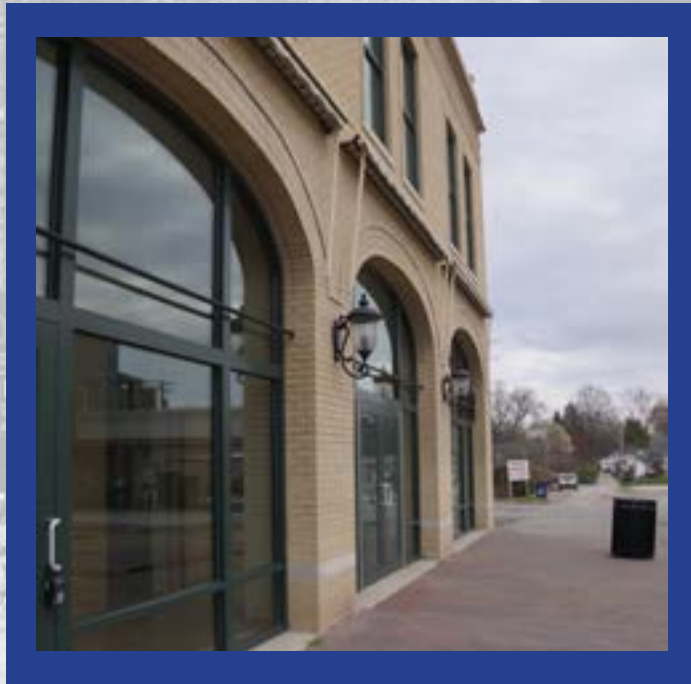


Both of these buildings utilize gutters effectively. They're built alongside the corners of buildings, and are painted to match other elements of the storefronts and to protect the historic facade from water drainage.

Additional Architectural Elements: Lighting

Historic light fixtures are important architectural elements in a commercial downtown area such as the Washington Square. These lights should be retained and maintained when possible, and new light fixtures should be unobtrusive.

- 1.** Historic light fixtures should be retained and maintained when possible. Damaged or deteriorated fixtures should be maintained using methods that allow them to retain their historic appearance.
- 2.** If light fixtures are beyond repair, property owners should replace them with lights similar in style, size, and color.



Light fixtures that utilize historic styles bring more detail and character to the Square, as seen here in the repetitive lighting fixtures used on the exterior of the Skill Sprout building,

Additional Architectural Elements: Lighting

- 3.** If light fixtures are desired where there were no historic fixtures, the fixtures should be unobtrusive, conceal the light source, and point light toward the building.
- 4.** Upon installing light fixtures, new or original, the building should not be damaged in any way.



While subtle, the lighting used above the awning on the storefront adheres to the historic nature of the building and provides a small detail to make this facade even more unique along the west side of the Square.

Additional Architectural Elements:

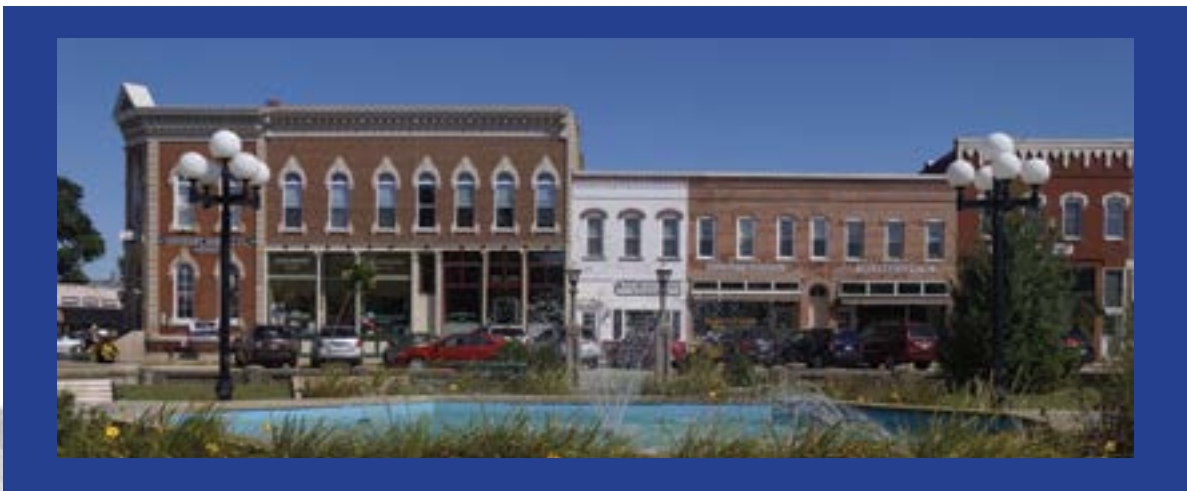
Paint

The colors chosen for structures throughout the Square should reflect a similar palette to create cohesion and enhance the historic character of the Square. The regulation of paint color is solely to restrict paint that is extremely uncharacteristic of the history of the Square.

- 1.** Paint color and selection should fit within the general color palette.
- 2.** Paint color should keep with the building's style and period of construction.
- 3.** Elements of the structure that have historically been left without paint should not be painted. This may include materials such as wood, masonry, and concrete, depending on the building, which is being considered. Historic roofing materials should also be left unpainted.
- 4.** Breathable paints such as latex and acrylic latex paints should be used to ensure that vapor can escape.
- 5.** While sandblasting and high-pressure water blasting to remove paint are not ideal, if alternative methods for paint removal are not cost-efficient or cannot be accomplished, sandblasting or high-pressure water blasting could be used. Open flames and torches should not be used to remove paint from historic siding.
- 6.** Paint colors chosen for structures throughout the Square should complement existing colors, especially those of neighboring buildings. Neons and bright colors on facades should be avoided as to preserve the cohesiveness of the buildings. Most commonly, the color categories of grays, browns, dark reds, beiges, blues, and blacks have been used. The Historic Preservation Commission is available to offer assistance in choosing colors if desired.

Additional Architectural Elements: Paint

- 7.** Murals must also be approved by the Historic Preservation Commission. A design must be included with the COA application and should enhance the character of the Square.



While the HPC will not instruct property owners on what paint colors to choose, it encourages property owners to choose colors that are appropriate and within the current palette of the Square. The above project shows an appropriate paint alteration in the Square.

Additional Architectural Elements: Signs

Commercial buildings traditionally display a variety of signs with different designs and placement, and should be given a large amount of flexibility in their use. Signage should be kept in the historic design and style as much as possible, and should be an appropriate size for each storefront. Signs must receive a COA unless there is routine maintenance that must be performed on the sign.

- 1.** Historic signs should be preserved, maintained, and repaired when possible.
- 2.** New signs should be created from traditional materials such as wood, glass, or copper.
- 3.** Signs should be proportionate to the storefront and should not be extremely oversized.



A variety of signs are used throughout the Square. Hollands utilizes signs painted on front windows, a historic style of advertising.

Additional Architectural Elements: Signs

- 4.** Buildings should not have more than two (2) signs, excluding signs that are painted directly onto windows.
- 5.** Signs should coordinate with the colors of the building.
- 6.** Letters in a sign should not exceed eighteen (18) inches in height or cover over sixty percent (60%) of the total sign area.
- 7.** Signs are most often located on the upper façade walls, are hanging or mounted inside windows or project from the face of the building, typically above doors or windows. Sandwich board signs are also allowed and can be placed on the sidewalk in front of the business during business hours provided they do not impede pedestrian movement or vehicular visibility. These sandwich board signs shall not exceed a total size of six (6) square feet.



Additional signs throughout the Square show the use of hanging signs. The Cornerstone Inn utilizes this style in its entrance on the northwest side of the Square, and the City utilizes banners on streetlights throughout the Square.

Additional Architectural Elements: Signs

- 8.** When installing signs, it should be done carefully as to not damage historic materials. Anchors should be placed in mortar rather than masonry.
- 9.** Lighting for signs, is appropriate but should be concealed.
- 10.** Neon signs, unless originals or replicas, should not be used along the Square, especially for permanent signage.
- 11.** Electronic message boards are not prohibited, but should be controlled so as not to become a hazard for traffic in the Square or to other business owners.



A look at part of the north side of the Square shows the variety of signs for businesses throughout the Square, each unique, successful, and appropriate for the Square.

Additional Architectural Elements: Windows

Windows are an important feature of a façade and should be preserved, maintained, and repaired. Original windows should not be concealed or replaced and when replacements are necessary, they should match the original in size, materials, and number of lights.

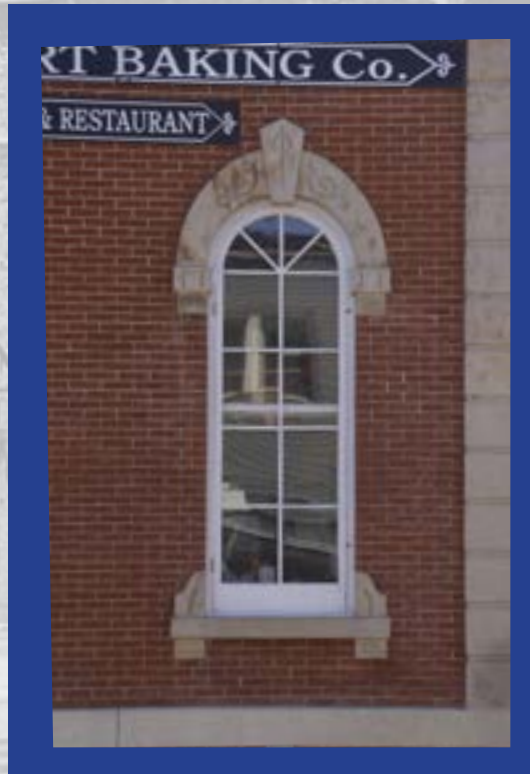
- 1.** Historic windows and their existing openings should be retained and maintained. They should not be covered or painted.
- 2.** Damaged or deteriorated windows should be replaced with windows of the same previous size and shape to maintain the historic appearance. If energy-efficient materials and windows are desired, they should be as close to the original as possible.
- 3.** For original windows, replacement of individual sashes or panes rather than a full window is recommended. If the majority of a window is damaged, replacing the full window is appropriate.
- 4.** New windows should match the style of existing windows on the structure and should not alter the opening on the façade. When possible, new windows should be made of wood.



Windows line many storefront facades. Their unique characteristics such as frame color and surrounding architectural details provide individual character for each storefront.

Additional Architectural Elements: Windows

- 5.** Shutters may be added to the façade if historically appropriate. Shutters should be painted wood that matches the size of the full window.
- 6.** Screen and storm windows should fit within the existing window frames and should match the window they are covering. Storm windows should be full-view design.
- 7.** Portable, seasonal air conditioners will not be regulated, but whenever possible should be placed where they are not easily viewed from the street.
- 8.** In order to prevent the need to replace full original windows, routine maintenance is recommended which includes replacing broken glass, muntins, molding and glazing; scraping, priming, repainting of sashes and frames; and repairing and replacing hardware.



Architectural detailing around windows such as this window on the north side of Denharts provides interest and unique style for each building.

Additional Architectural Elements: Parking Lots

Parking lots are a necessary part of modern downtown areas, but should be designed as to make the lots more aesthetically appealing through the use of landscape screening. Property owners are also encouraged to utilize the parking spaces throughout the Square and the parking lot at the northeast corner of the Square for their customers.

- 1.** Whenever possible, parking lots should be located behind historic buildings, out of pedestrian view, and not along the main streets.
- 2.** Shared parking lots are ideal so that space will not be wasted and the parking lot will be more full more often.
- 3.** Parking and pedestrian areas should be clearly designated.



The parking lot on the northeast side of the Square is clearly marked and accessible, but out of the main view of the Square, not taking away from any historic characteristics of the Square.

Administrative Certificates of Appropriateness

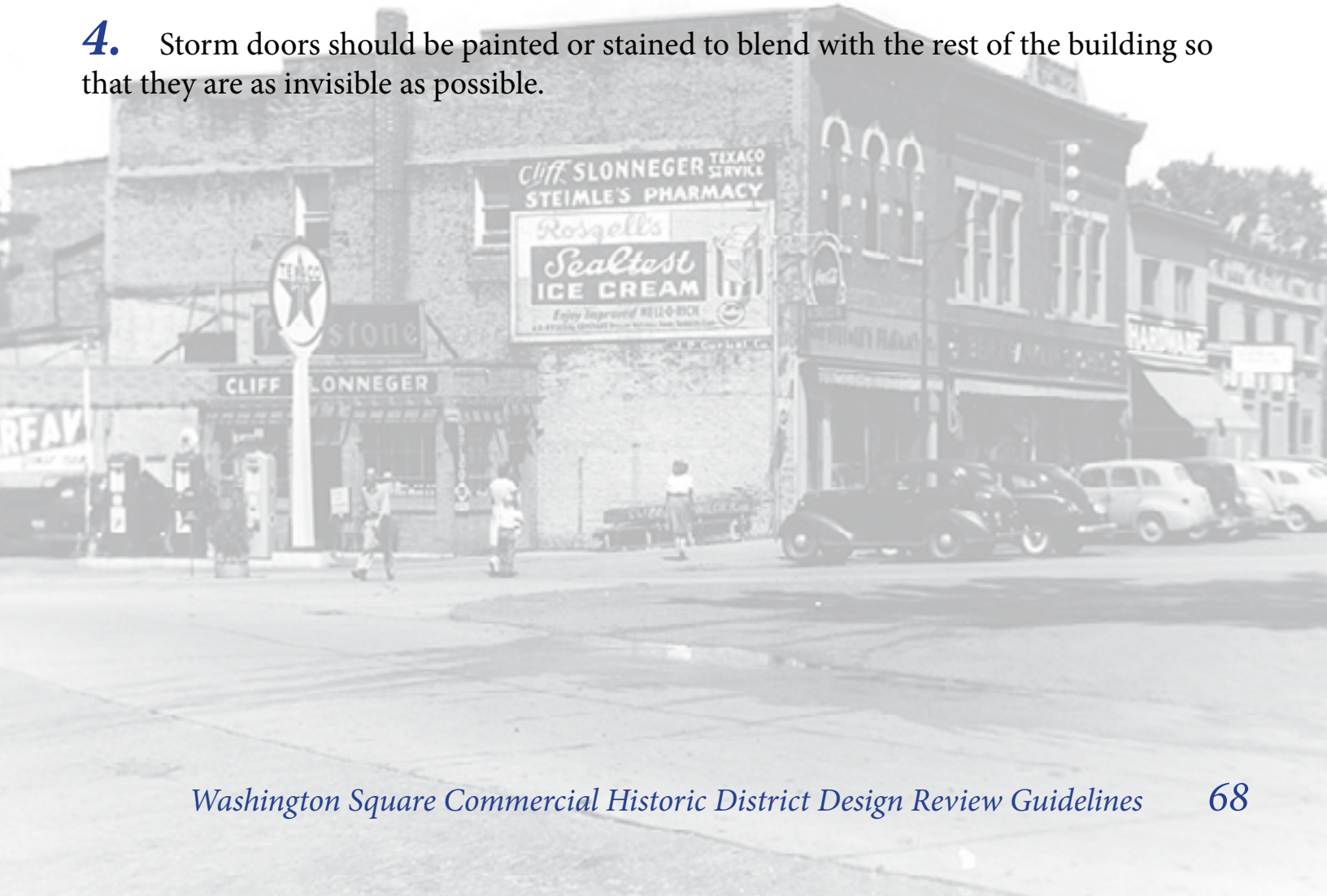
Administrative Certificates of Appropriateness describes exterior elements and changes that are likely to occur more frequently than large construction projects. These minor exterior changes, while they need approval, do not need to go through the formal COA process that comes before the HPC. Instead, the property owner may fill out a COA form and speak with the Planning and Development Director, who will then sign off on the project. The Planning and Development Director should present any approved fast-track applications to the HPC at the next meeting.



Administrative Certificates of Appropriateness: Storm Doors

Many property owners are opting to install storm doors to protect their primary doors from weather. These doors are appropriate when they do not detract from the historic character of the door and building as a whole.

- 1.** Storm doors should be full view and should primarily be glass.
- 2.** Storm door material should be aluminum or plastic and should be simple in design.
- 3.** Storm doors should not detract from the historic character of the building. They should also not block the detailing on the door in any way.
- 4.** Storm doors should be painted or stained to blend with the rest of the building so that they are as invisible as possible.



Administrative Certificates of Appropriateness: Temporary Signs and Banners

Temporary signs and banners are appropriate in the historic district and are most often used for special events, many times being displayed in storefront windows. Such temporary signs should not be displayed for more than thirty (30) days.



Administrative Certificates of Appropriateness: Additional Elements

- 1.** Painting within the general color palette, with the exception of murals.
- 2.** Ordinary repair and maintenance of existing exterior architectural features which does not change the basic structural appearance of same.
- 3.** Installation of outside storage and mechanical equipment that cannot be seen from the street.
- 4.** Installation, removal, or change in landscape.



The City of Washington's Commitment to Preservation

The City of Washington is committed to preserving the Square and its structures as a defining element of the City. These efforts will be led by the Planning and Development Director and the Historic Preservation Commission. Additionally, the City is committed to maintaining the Square in the ways it is able to, as seen below.



The City of Washington's Commitment to Preservation: Landscaping

Landscaping should be compatible with the architectural character and appearance of the landmark. Streetscape elements should complement the historic character of the Square and make it a safe and aesthetically appealing place for residents and visitors.

- 1.** Streetscape elements such as benches and planters should enhance the Washington commercial area.
- 2.** While these elements are modern in nature and support modern commercial activity, they should complement the historic character of the Square, especially the historic buildings.
- 3.** Landscaping should not damage historic buildings or conceal any historic elements or architectural details.
- 4.** In addition to ensuring that historic elements are not concealed through landscaping, the canopies should be limited and planters should be given priority.
- 5.** Outdoor furniture is to be provided by the City and should be uniform in appearance. The City will also provide and maintain trash receptacles. Any outdoor furniture and other elements that are placed along the sidewalks should not impede traffic flow.
- 6.** Historically, the center of the Square has been the location for the majority of the landscaping and other furniture. While the fountain has replaced the historic bandstand, the center of the Square remains an important place for historic landmarks, furniture, and vegetation. This area should continue to receive attention to maintain its attractive qualities, while ensuring that it does not become overgrown or create any safety issues.

The City of Washington's Commitment to Preservation: Landscaping

- 7.** Crosswalk markings and other pedestrian infrastructure shall be maintained by the City to ensure the safety of the pedestrians and the downtown area.
- 8.** The use of period lighting should be continued along the sidewalks throughout the historic downtown. The lighting shall be carefully placed to ensure illumination in all areas for pedestrian safety.



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COPY

ORDINANCE NO. 3173

(Adoption of this ordinance would create a Historic District including multiple properties on the Washington Square)

AN ORDINANCE GRANTING DISTRICT DESIGNATION STATUS TO MULTIPLE PROPERTIES ON THE WASHINGTON SQUARE, WASHINGTON, ILLINOIS

WHEREAS, the City of Washington has an historical preservation ordinance which provides, among other things, the procedure to follow to obtain historic district designation; and

WHEREAS, the City of Washington, Illinois, filed a properly completed Historic District Designation application on February 5, 2015, as Case No. 16-01, pursuant to Washington's Municipal Code § 154.604 requesting district status for many properties around the Washington Square; and

WHEREAS, notice of the hearing in front of the Historic Preservation Commission was published in a timely fashion and a hearing was held on March 3, 2016; and

WHEREAS, a quorum of the Historic Preservation Commission determined the properties met the standards set forth in the Historic Preservation Ordinance and recommended, unanimously, that the City Council grant District Designation to the properties in Washington, Illinois; and

WHEREAS, the following properties are included in the District Designation:

101-105 ZINSER PL. (PIN: 02-02-23-203-014)
126 N. MAIN ST. (PIN: 02-02-23-207-015)
122 N. MAIN ST. (PIN: 02-02-23-207-016)
120 N. MAIN ST. (PIN: 02-02-23-207-017)
116-118 N. MAIN ST. (PIN: 02-02-23-207-018)
112-114 N. MAIN ST. (PIN: 02-02-23-207-019)
108-110 N. MAIN ST. (PIN: 02-02-23-207-020)
104 N. MAIN ST. (PIN: 02-02-23-207-021)
100 N. MAIN ST. (PIN: 02-02-23-207-022)
100 S. MAIN ST. (PIN: 02-02-23-213-038)
110 S. MAIN ST. (PIN: 02-02-23-213-024)
112 S. MAIN ST. (PIN: 02-02-23-213-025)
116 S. MAIN ST. (PIN: 02-02-23-213-026)
118 S. MAIN ST. (PIN: 02-02-23-213-027)
120 S. MAIN ST. (PIN: 02-02-23-213-028)
106-110 WASHINGTON SQ. (PIN: 02-02-24-108-002)
112-118 WASHINGTON SQ. (PIN: 02-02-24-108-003)
128 WASHINGTON SQ. (PIN: 02-02-24-108-017)
140 WASHINGTON SQ. AND 106 WALNUT ST. (PIN: 02-02-24-108-016)

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114 WALNUT ST. A-D (PIN: 02-02-24-108-027)
135 WASHINGTON SQ. (PIN: 02-02-24-100-033)
127 WASHINGTON SQ. (PIN: 02-02-24-100-018)
123 WASHINGTON SQ. (PIN: 02-02-24-100-017)
121 & 121 ½ WASHINGTON SQ. (PIN: 02-02-24-100-016)
117 & 117 ½ WASHINGTON SQ. (PIN: 02-02-24-100-015)
115 & 115 ½ WASHINGTON SQ. (PIN: 02-02-24-100-014)
109 WASHINGTON SQ. (PIN: 02-02-24-100-013)
105 WASHINGTON SQ. (PIN: 02-02-24-100-012)
101-103 N. MAIN ST. (PIN: 02-02-24-100-011)

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WASHINGTON, TAZEWELL COUNTY, ILLINOIS, AN ILLINOIS HOME-RULE MUNICIPALITY, as follows:

Section 1. That the properties noted above in Washington, Illinois, are hereby granted District Designation under the Historic Preservation Ordinance of the City of Washington.

Section 2. That the City Clerk shall prepare and mail a Notice of District Designation to the owners of each of the properties, and file an identical Notice with the Planning and Development Director and the City Clerk's Office of the City, and shall further cause a copy of the Notice and a copy of this ordinance to be recorded with the Tazewell County Recorder of Deeds.

Section 3. That this ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law.

Section 4. That all ordinances or parts thereof in conflict herewith are hereby expressly repealed.

PASSED AND APPROVED this 4th day of April, 2016.


Mayor

ATTEST:


City Clerk

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ORDINANCE NO. 3172 **COPY**

AN ORDINANCE AMENDING THE CODE OF ORDINANCES OF
THE CITY OF WASHINGTON, ILLINOIS BY ADDING A NEW SUBCHAPTER ENTITLED
"SQUARE BUILDING DESIGN GUIDELINES"

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WASHINGTON, TAZEWELL
COUNTY, ILLINOIS, as follows:

Section 1. That § 154.620 of Chapter 154 of the Washington Municipal Code of Ordinances
is hereby amended by adding a new subchapter thereof entitled "Square Building Design Guidelines,"
which shall read as follows:

***§154.620 SQUARE BUILDING DESIGN GUIDELINES**

(A) Purpose. The purpose of the Square Building Design Guidelines is to provide a set of
architectural guidelines to preserve the character of the historic buildings in the downtown square
and to guide property owners and the Historic Preservation Commission (HPC) in future
alterations, changes, construction, and demolition around the Square.

(B) Applicability. The Square Building Design Guidelines shall apply to all properties applying for a
Certificate of Appropriateness (COA) with the following addresses:

101-105 Zinser Place
126 N. Main Street
122 N. Main Street
120 N. Main Street
116-118 N. Main Street
112-114 N. Main Street
108-110 N. Main Street
104 N. Main Street
100 N. Main Street
100 S. Main Street
110 S. Main Street
112 S. Main Street
116-120 S. Main Street
106-110 Washington Square
112-118 Washington Square
128 Washington Square
140 Washington Square and 105 Walnut Street
114 Walnut Street A-D
135 Washington Square
127 Washington Square
123 Washington Square
121 and 121 ½ Washington Square
117 and 117 ½ Washington Square
115 and 115 ½ Washington Square
109 Washington Square
105 Washington Square

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101-103 N. Main Street

- (C) Review. The HPC shall review any applications for a COA for the addresses noted in §154.620 (B) regardless of whether a historic district is approved.
- (D) Architectural Elements:
 - (1) Height: The height of any proposed alteration or construction should be compatible with the style and character of the landmark and with surrounding structures in a historic district.
 - (a) For small alterations and construction projects including, but not limited to, the repair of a building, a rear addition, or the addition of an attached side building, the height shall match the height of the existing structure as closely as possible.
 - (b) Infill buildings follow the same logic and shall be compatible with their surrounding structures. These new buildings are not to differ from the surrounding structures by more than one story.
 - (c) In general, the north, east, and south sides of the Square support the alteration and construction of two-story structures. These structures differ slightly in height depending on the use, but their facades directed toward the interior of the Square all display two-stories with windows on both stories.
 - (d) On the west side of the Square, buildings on the north side generally display this same two-story characteristic. On the south side of the west side of the Square, buildings generally support a one-story exterior façade, with interior space for a possible second story. While these buildings may only display one story to the exterior viewer, there is significant architectural detailing above many of the entryways, almost reaching the height of a second story.
 - (e) The architectural style of the notable historic structures in the Square is of the Italianate style, best displayed by the architectural features on the north side of the Square. While new construction and infill will not be required to be designed in an Italianate style, similar features and style is encouraged where possible.
 - (2) Proportions of Windows and Doors: The proportions and relationships between doors and windows should be compatible with the architectural style and character of the landmark.
 - (a) In repair or new additions to a building, it is important to let the existing structure inform the characteristics of the new portion. If the new structure faces the Square, it is important to include doors and windows, consistent with the spacing already established.
 - (b) The windows on the second story of a building are many times slightly smaller in height, but should continue to reflect the style (in size, opening, and architectural detailing around the window) of the

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first story windows. While these are many times less ornate in detailing, the repetition of size and style brings more cohesion to the overall design of the Square, reinforcing the historic character.

- (c) For infill construction, the design should be informed by its neighboring buildings. While the new building does not necessarily need to replicate the exact style and massing of its neighboring structures, it does need to consider the positioning and size of the door as well as the windows on the front façade. Ultimately, the goal of proportioning windows and doors on infill construction is to make the transition look as seamless as possible between the historic structures and the new building.

- (3) Relationship of Building Masses and Spaces: The relationship of a structure within a historic district to the open space between it and adjoining structures should be compatible.

- (a) Along the Square, the facades are continuous, especially on the north, south, and west sides. The east side has fewer buildings and does not experience the aesthetic of no space between buildings and their storefronts. However, it is still important to keep in mind that the buildings on the east side to the north and south of Walnut Street also do not provide spacing between their building facades. This continuous façade, whether through two storefronts or ten storefronts, is characteristic of the Washington Square commercial downtown.
- (b) Open space throughout the Square is maintained through the variety of passageways to and through the Square, including the entrance to the public parking lot on the northeast corner of the Square.
- (c) Important to keep in mind is that the relationship between neighboring buildings is extremely important, as well as the size of the spaces that create the passageways through the Square. Currently the passageways serve as a secondary element to the historic structures. However, they are extremely important for the functionality of the Square. As a secondary element, the spacing should be kept relatively small in size compared to the structures in order to bring more attention to the historic structures.

- (4) Roof: The design of the roof, fascia, and cornice should be compatible with the architectural style and character of the landmark. The roof helps determine the building style and is an important component of the historic appearance.

- (a) The historic roof shaped should be retained. Most roof forms in Washington are flat. However, a slight pitch to a newly constructed roof is permitted to assist with drainage, as long as said roof is not extremely visible from the public right of way and does not take away from the historic building style and appearance.
- (b) If at all possible, the existing materials of the roof should be maintained and retained.

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- (c) Roof related architectural detailing and features such as parapet walls, cornices, brackets and chimneys should be retained.
 - (d) Any new roof elements such as balconies, satellite dishes, and skylights should not be visible from the street. These elements are more appropriately placed at the rear of the structure.
 - (e) Maintain historic roof materials such as slate and sheet metal where they are visible from the street.
 - (f) If the replacement of the roof with modern materials is the most viable option, the public visibility of this roof should be limited.
- (5) Landscaping: Landscaping should be compatible with the architectural character and appearance of the landmark. Streetscape elements should compliment the historic character of the Square and make it a safe and aesthetically appealing place for residents and visitors.
 - (a) Flowerboxes on a storefront façade should utilize live plants and should be historic in nature. Boxes made of wood are encouraged. Flowerboxes should be well maintained, both in the maintenance of the plants themselves but in the upkeep (painting and repair) of the boxes.
 - (b) Planters in front of a store are permitted but should not obstruct sidewalk traffic. These should be placed close to the façade of the structure as the City has its own planters that will be placed closer to the edge of the sidewalk.
- (6) Scale: The scale of the structure after alteration, construction, or partial demolition should be compatible with its architectural style and character and with surrounding structures in a historic district.
- (7) Directional Expression and Storefronts: Facades in historic districts should blend with other structures with regard to directional expression. Structures in a historic district should be compatible with the dominant horizontal or vertical expression of surrounding structures. The direction expression of a landmark after alteration, construction, or partial demolition should be compatible with its original architectural style and character.
 - (a) Historic storefronts should be retained, maintained and repaired if needed; historic storefronts should not be covered or concealed. These historic storefronts are extremely important to the historic character of downtown Washington and should be preserved when at all possible.
 - (b) Historic information regarding the appearance of the storefront should guide the restoration or rebuilding of historic storefronts. Such materials can be found in the Washington Historical Society or in the Planning and Development department in City Hall.

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- (c) If a storefront has deteriorated, components should be restored to their original appearance. While historic materials are not required, materials of similar appearance (such as color, texture, pattern, etc.) should be used where at all possible.
 - (d) Historic examples should also guide storefronts that have been missing and are being replaced. While each storefront is unique, these storefronts being replaced should be complementary to their neighboring storefronts in scale, style, and proportion.
- (8) Architectural Details: Architectural details including types of materials, colors, and textures should be treated so as to make the landmark compatible with its original architectural style and character of a landmark or historic district.
 - (a) The architectural details of a historic building help define its character and should therefore be retained, maintained and repaired to match the original features as closely as possible.
 - (b) Historic architectural details should not be covered or removed.
 - (c) When repair is necessary, safe methods of cleaning and repair should be used to ensure that the features will not be damaged and will retain their historic character.
 - (d) Architectural details should not be added to a storefront where there is no historical evidence to support their previous existence. The addition of architectural details should be supported by historic materials showing evidence of the original storefront.
 - (e) For new infill construction and development, architectural details should match the overall style of the structure and the character of the Square. The details should not be over-utilized but should replicate important features such as decorative window cornices, front pilasters, and glass transoms on the storefront displays.
- (9) New Construction: New structures in a Historic District shall be compatible with the architectural styles and design in said districts. New construction is welcomed as long as it reflects the existing historic character of the commercial district. The characteristics, architectural detailing, size, and proportions of new structures and additions should be harmonious with the existing structures. Ultimately, new construction should not take the focus off the historic structures. The purpose of this section is to present guidelines for new elements to the district and to encourage design and quality that reflects the historic character of the surrounding district.
 - (a) Infill Buildings: Where historic buildings have been lost or if there are vacant lots that are considering the addition of new construction, additional buildings may be considered if they add to the streetscape, promote economic development, and reflect the historic style of the surrounding buildings.
 - (i) New construction should utilize existing setbacks established by

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adjoining buildings. Most buildings in Washington utilize zero-lot-line conditions (no front or side setbacks).

- (ii) The back of the building, while not as important as the front façade, should generally match the adjoining buildings in building setback.
 - (iii) New construction should be oriented toward the Square.
 - (iv) The height and width of the new building should be compatible with the adjacent buildings. In Washington, with a continuous façade in most parts of the downtown area, this means that the width should occupy the entire opening, if a building is to be located between two existing structures. The height should be one or two stories, depending on the side of the Square that the new construction is taking place.
 - (v) The roof form should reflect the roof forms of neighboring structures, most often a flat roof.
 - (vi) The new construction should be contemporary but should also reflect the design of historic structures.
 - (vii) If new construction is proposed to fill an area that historically is composed of multiple footprints, the front façade should have the appearance of traditional building widths rather than one large structure.
 - (viii) Parking should be located to the rear of the building. Parking is also encouraged in marked on-street parking spaces in the Square.
- (b) **Rear Additions:** Rear and lateral additions are the most common recommendation for the location of an addition. These additions give additional space for property owners while still maintaining the historic character of the original façade by remaining invisible from the front façade.
- (i) Additions on the roof should not be visible from the street.
 - (ii) Additions should not damage the existing historic structure or remove any architectural details important to the structure.
 - (iii) The roof form of the existing structure should be replicated on the rooftop addition, most likely a flat roof in Washington.
- (c) **Roofline Additions:** Rooftop additions provide further space for their owners, who can expand going up. These additions should not be visible from the street and should use materials and design that are reflective of the historic character of the building.

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- (i) Additions on the roof should not be visible from the street.
- (ii) Additions should not damage the existing historic structure or remove any architectural details important to the structure.
- (iii) The roof form of the existing structure should be replicated on the rooftop addition, most likely a flat roof in Washington.
- (d) Decks: As important modern features, decks may be added with care to protect and not to detract from the existing historic structure. Decks are not allowed on the front façades of structures, and are recommended to be built at the rear or side of the structure, as long as they are not visible from the street.
 - (i) The recommended location for decks is on the rear elevation of the structure.
 - (ii) If property owners wish to build a deck on a side elevation of their structure or on the roof of their structure, they must screen the deck so as to not be visible from the street. Depending on the location of the deck, this can be done through the use of plants, fences, or parapet walls.
 - (iii) Decks should be constructed of wood or metal and can be stained or painted with colors compatible to their building's character.
 - (iv) Decks must receive a building permit for new construction to ensure the safety of the structure before they are to be built.
- (e) Ramps: To meet current Americans with Disabilities Act requirements, buildings that do not have street grade entrances must provide an alternative, more accessible entrance when a building undergoes a significant renovation or when public sidewalk improvements are completed.
 - (i) When at all possible, ramps should be placed on the rear elevations instead of main façades if space is available.
 - (ii) Ramps should be constructed of concrete or wood and should be simple in design. If a ramp is to be stained or painted, it should be complementary to the building it is being added to.

(E) Additional Architectural Elements

- (1) Awnings: Awnings are a common historical feature in downtown Washington, and were used by many shopkeepers on their storefronts to provide shelter as well as heat and cool the building. While they are mainly decorative features now, they still remain an important aesthetic component to historic storefronts in downtown Washington.

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- (a) The addition of awnings to a storefront is appropriate if they are traditional in design, materials and placement. The color and design of the awning should complement the building and its color palette, always taking care to avoid harsh and bright colors.
 - (b) Awnings are typically installed directly over windows and entryways and can be one large feature or multiple small features. They can be installed on storefronts and upper façade windows.
 - (c) A variety of styles is possible but most awnings in Washington are fixed or retractable and are of the shed style, all appropriate for the area.
 - (d) It is preferred that awnings are made of canvas or a polyester blend rather than vinyl, metal, or wood.
 - (e) When installing awnings, it is important to not damage architectural features on a storefront, and to ensure that no features such as transom windows are not covered by permanent fixed awnings.
- (2) Brickwork/Masonry: The historic downtown Washington commercial area is characterized by a variety of brick buildings, which need proper care and maintenance to continue to look presentable. The keys to maintaining brick surfaces, which can last indefinitely, is to keep water out and apply a soft mortar where repairs are needed. Abrasive cleaning of brick should not occur.
- (a) Repair rather than replacing masonry materials unless it is impossible to do so.
 - (b) Masonry should be cleaned only when necessary to halt deterioration and with low pressure water and soft bristle brushes. Sandblasting or high-pressure water should only be used as a last resort, once the property owner has shown proof of trying other removal processes. To maintain the historic character of facades, sandblasting is discouraged especially on facades visible from the right of way.
 - (c) Original brick surfaces should not be covered with materials uncharacteristic of the building such as stucco, plaster, siding, etc. Brick should also not be painted unless it was historically painted.
 - (d) If the exterior brick surfaces are already painted and it is a stable paint layer, repainting the exterior is appropriate.
 - (e) New masonry added to a site should be similar in appearance, color, and texture to the historic brick.
- (3) Building Material: The maintenance of the existing materials is most important on the existing buildings in downtown Washington. The majority of the buildings in the Square are brick or masonry, but some have been covered over the years with material such as siding. The restoration and maintenance of the original building material is most important.
- (a) When replacing the exterior façade building material, it is important to be guided by the historic material of that structure. For instance, structures that are

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historically brick should continue to use brick, rather than switch to vinyl siding. While the material does not have to be exact, it should be replaced in-kind.

- (b) It is appropriate to remove any façade materials that have covered the original façade, but it is inappropriate to use materials such as stucco or siding to cover a façade.
- (4) Doors and Entrances: Doors are an important visual element to storefronts and should maintain their historic character through maintenance, restoration and repair. Upon renovation of the structure, doors that are not the original or that are severely deteriorated should be replaced with doors that match the historic character and style.
 - (a) Historic doors should be retained and maintained when possible.
 - (b) Primary entrances should meet Americans with Disabilities Act requirements, or an alternative entrance should be provided and maintained at the same standard.
 - (c) The replacement of deteriorated and damaged doors should be done so with doors similar in character, style and material. These new doors should not detract from the character of the building.
 - (d) Raw aluminum and other silver-colored metal doors are not permitted.
 - (e) All original features of original doors such as stained glass, beveled glass, or leaded glass should not be removed or replaced unless it is impossible to repair.
 - (f) Recessed entrances should be maintained in the proper form, unless an original recessed entrance has been removed.
 - (g) Doors and entrances should not be added to places on the building where they were not original.
 - (h) Residential-style doors shall not be used in the commercial district.
 - (i) Screen doors are permitted if they are complementary to the style of the building and have wood or aluminum frames. They must also be full view and not block the original door. Storm doors must also be full view and painted or finished to be as inconspicuous as possible. Security doors are only permitted in doors not visible from the street.
- (5) Fire Escapes and Staircases: Fire escapes are an important safety feature on buildings and are required by code for escape from upper floors. Because these are modern additions to buildings, it is important to keep them at the rear or side of the building and to be as invisible from the street as possible.
 - (a) Fire escapes or other staircases should be located on the rear or lateral elevations of a building so they are not visible from the street.
 - (b) The installation of fire escapes should not damage architectural features.
 - (c) Fire escapes may be open or enclosed.

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- (6) Gutters and Downspouts: Gutters and downspouts are important to maintain the integrity of the exterior materials by protecting buildings from water damage.
- (a) Gutters should be used and maintained.
 - (b) Existing boxed or built-in gutters should be retained and repaired.
 - (c) When new gutters are needed, gutters that are half-round in design are most appropriate.
- (7) Lighting: Historic light fixtures are important architectural elements in a commercial downtown area such as the Washington Square. These lights should be retained and maintained when possible, and new light fixtures should be unobtrusive.
- (a) Historic light fixtures should be retained and maintained when possible. Damaged or deteriorated fixtures should be maintained using methods that allow them to retain their historic appearance.
 - (b) If light fixtures are beyond repair, property owners should replace them with lights similar in style, size, and color.
 - (c) If light fixtures are desired where there were no historic fixtures, the fixtures should be unobtrusive, conceal the light source, and point light toward the building.
 - (d) Upon installing light fixtures, new or original, the building should not be damaged in any way.
- (8) Paint: The colors chosen for structures throughout the Square should reflect a similar palette to create cohesion and enhance the historic character of the Square. The regulation of paint color is solely to restrict paint that is extremely uncharacteristic of the history of the Square.
- (a) Paint color and selection should fit within the general color palette.
 - (b) Paint color should keep with the building's style and period of construction.
 - (c) Elements of the structure that have historically been left without paint should not be painted. This may include materials such as wood, masonry, and concrete, depending on the building, which is being considered. Historic roofing materials should also be left unpainted.
 - (d) Breathable paints such as latex and acrylic latex paints should be used to ensure that vapor can escape.
 - (e) While sandblasting and high-pressure water blasting to remove paint are not ideal, if alternative methods for paint removal are not cost-efficient or cannot be accomplished, sandblasting or high-pressure water blasting could be used. Open flames and torches should not be used to remove paint from historic siding.

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- (f) Paint colors chosen for structures throughout the Square should complement existing colors, especially those of neighboring buildings. Neons and bright colors on facades should be avoided as to preserve the cohesiveness of the buildings. Most commonly, the color categories of grays, browns, dark reds, beiges, blues, and blacks have been used. The Historic Preservation Commission is available to offer assistance in choosing colors if desired.
- (g) Murals must also be approved by the Historic Preservation Commission. A design must be included with the COA application and should enhance the character of the Square.
- (9) Signs: Commercial buildings traditionally display a variety of signs with different designs and placement, and should be given a large amount of flexibility in their use. Signage should be kept in the historic design and style as much as possible, and should be an appropriate size for each storefront. Signs must receive a COA unless there is routine maintenance that must be performed on the sign.
 - (a) Historic signs should be preserved, maintained, and repaired when possible.
 - (b) New signs should be created from traditional materials such as wood, glass, or copper.
 - (c) Signs should be proportionate to the storefront and should not be extremely oversized.
 - (d) Buildings should not have more than two (2) signs, excluding signs that are painted directly onto windows.
 - (e) Signs should coordinate with the colors of the building.
 - (f) Letters in a sign should not exceed eighteen (18) inches in height or cover over sixty percent (60%) of the total sign area.
 - (g) Signs are most often located on the upper façade walls, are hanging or mounted inside windows or project from the face of the building, typically above doors or windows. Sandwich board signs are also allowed and can be placed on the sidewalk in front of the business during business hours provided they do not impede pedestrian movement or vehicular visibility. These sandwich board signs shall not exceed a total size of six (6) square feet.
 - (h) When installing signs, it should be done carefully as to not damage historic materials. Anchors should be placed in mortar rather than masonry.
 - (i) Lighting for signs is appropriate but should be concealed.
 - (j) Neon signs, unless originals or replicas should not be used along the Square, especially for permanent signage.
 - (k) Electronic message boards are not prohibited but should be controlled as to not become a hazard for traffic in the Square or to other business owners.

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- (10) Windows: Windows are an important feature of a façade and should be preserved, maintained, and repaired. Original windows should not be concealed or replaced and when replacements are necessary, they should match the original in size, materials, and number of lights.
- (a) Historic windows and their existing openings should be retained and maintained. They should not be covered or painted.
 - (b) Damaged or deteriorated windows should be replaced with windows of the same previous size and shape to maintain the historic appearance. If energy-efficient materials and windows are desired, they should be as close to the original materials as possible.
 - (c) For original windows, replacement of individual sashes or panes rather than a full window is recommended. If the majority of a window is damaged, replacing the full window is appropriate.
 - (d) New windows should match the style of existing windows on the structure and should not alter the opening on the façade. When possible, new windows should be made of wood.
 - (e) Shutters may be added to the façade if historically appropriate. Shutters should be painted wood that matches the size of the full window.
 - (f) Screen and storm windows should fit within the existing window frames and should match the window they are covering. Storm windows should be full-view design.
 - (g) Portable, seasonal air conditioners will not be regulated, but whenever possible should be placed where they are not easily viewed from the street.
 - (h) In order to prevent the need to replace full original windows, routine maintenance is recommended which includes replacing broken glass, muntins, molding and glazing; scraping, priming, repainting of sashes and frames; and repairing and replacing hardware.
- (11) Parking Lots: Parking lots are a necessary part of modern downtown areas but should be designed as to make the lots more aesthetically appealing through the use of landscape screening. Property owners are also encouraged to utilize the parking spaces throughout the Square and the parking lot at the northeast corner of the Square for their customers.
- (a) Whenever possible, parking lots should be located behind historic buildings, out of pedestrian view, and not along the main streets.
 - (b) Shared parking lots are ideal so that space will not be wasted and the parking lot will be more full more often.
 - (c) Parking and pedestrian areas should be clearly designated.
- (F) Administrative Certificates of Appropriateness: Administrative Certificates of Appropriateness describes exterior elements and changes that are likely to occur more frequently than large

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construction projects. These minor exterior changes, while they need approval, do not need to go through the formal COA process that comes before the Historic Preservation Commission (HPC). Instead, the property owner may fill out a COA form and speak with the Planning and Development Director, who will then sign off on the project. The Planning and Development Director should present any approved fast-track applications to the HPC at the next meeting.

- (1) Storm Doors: Many property owners are opting to install storm doors to protect their primary doors from weather. These doors are appropriate when they do not detract from the historic character of the door and building as a whole.
 - (a) Storm doors should be full view and should primarily be glass.
 - (b) Storm door material should be aluminum or plastic and should be simple in design.
 - (c) Storm doors should not detract from the historic character of the building. They should also not block the detailing on the door in any way.
 - (d) Storm doors should be painted or stained to blend with the rest of the building so that they are as invisible as possible.
- (2) Temporary Signs and Banners: Temporary signs and banners are appropriate on the Square and are most often used for special events, many times being displayed in storefront windows. Such temporary signs should not be displayed for more than thirty (30) days.
- (3) Painting within the general color palette, with the exception of murals.
- (4) Ordinary repair and maintenance of existing exterior architectural features which does not change the basic structural appearance of same.
- (5) Installation of outside storage and mechanical equipment that cannot be seen from the street.
- (6) Installation, removal, or change in the landscape.
- (G) The City of Washington's Commitment to Preservation: The City of Washington is committed to preserving the Square and its structures as a defining element of the City. These efforts will be led by the Planning and Development Director and the Historic Preservation Commission. Additionally, the City is committed to maintaining the Square in the ways it is able to, as seen below.
 - (1) Landscaping: Landscaping should be compatible with the architectural character and appearance of the landmark. Streetscape elements should complement the historic character of the Square and make it a safe and aesthetically appealing place for residents and visitors.
 - (a) Streetscape elements such as benches and planters should enhance the Washington commercial area.

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- (b) While these elements are modern in nature and support modern commercial activity, they should complement the historic character of the Square, especially the historic buildings.
- (c) Landscaping should not damage historic buildings or conceal any historic elements or architectural details.
- (d) In addition to ensuring that historic elements are not concealed through landscaping, the canopies should be limited and planters should be given priority.
- (e) Outdoor furniture is to be provided by the City and should be uniform in appearance. The City will also provide and maintain trash receptacles. Any outdoor furniture and other elements that are placed along the sidewalks should not impede traffic flow.
- (f) Historically, the center of the Square has been the location for the majority of the landscaping and other furniture. While the fountain has replaced the historic bandstand, the center of the Square remains an important place for historic landmarks, furniture, and vegetation. This area should continue to receive attention to maintain its attractive qualities, while ensuring that it does not become overgrown or create any safety issues.
- (g) Crosswalk markings and other pedestrian infrastructure shall be maintained by the City to ensure the safety of the pedestrians and the downtown area.
- (h) The use of period lighting should be continued along the sidewalks throughout the historic downtown. The lighting shall be carefully placed to ensure illumination in all areas for pedestrian safety."

Section 2. That this ordinance shall be in full force and effect from and after its passage, approval, and publication as provided by law.

Section 3. That all ordinances or parts thereof in conflict herewith are hereby expressly repealed.

PASSED AND APPROVED this 4th day of April, 2016.

AYES: J. Gee, Butler, Brownfield, Dingleline, Maxwell, T. Gee, Moss

NAYS: -0-



Mayor

ATTEST:


City Clerk

B-16

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DRAFT

CITY OF WASHINGTON, ILLINOIS PLANNING AND ZONING COMMISSION MEETING WEDNESDAY, MARCH 3, 2016 WASHINGTON DISTRICT LIBRARY 380 N. WILMOR ROAD – 6:30 P.M.

Chairman Lori Weston called the regular meeting of the City of Washington Planning and Zoning Commission to order at 6:30 p.m. in the meeting room at Washington District Library.

Call to Order

Present and answering Roll Call were Commissioners, Rick Benson, Mike Burdette, Brian Fischer, Louis Mikot, Steve Scott, and Lori Weston. Tom Koeder and Doug Weston were absent.

Roll Call

Also present was P & D Director Jon Oliphant, City Clerk Pat Brown, and Historic Preservation Commission members, Walter Ruppman, Roland Walzer, and Dan Phillips.

Commissioner Burdette moved and Commissioner Scott seconded to approve the minutes of the February 3, 2016 Planning and Zoning Commission meeting as presented.

Appr: min 2/3/16 PZC meeting as presented

Motion carried unanimously by voice vote.

A public hearing for the purpose of hearing comment pertaining to a proposed amendment to the Zoning Code for the purpose of adding/deleting text was opened for comment at 6:32 p.m.

Public Hearing: zoning code amendment, Square building design guidelines

P & D Director provided the following information: 1) the City has been working with Marcia Klepé, a graduate student at the University of Illinois, to help establish the Square as a local historic district; 2) the text amendment would provide guidance for those owners that wish to either renovate an existing building or to construct a new building; 3) it balances the desire to maintain the character of the Square while allowing for flexibility for any construction activities; 4) while there are building design guidelines found in the Historic Preservation section of the zoning code, those regulations would be more specific to the older buildings found around the Square building off of what is already in place; and 5) each of the property owners surrounding the Square were given a copy of the draft guidelines in December and were encouraged to offer input and a few minor revisions were suggested and were incorporated into this draft ordinance at the recommendation of the Historic Preservation Commission. He also shared that there is a public hearing scheduled tomorrow evening for the purpose of hearing a local historic district designation for the properties listed in the proposed draft ordinance as well. He asked if there were any questions from the Historic Preservation Commission members in attendance and there were none.

Public comments: None.

At 6:37 p.m. the public hearing was closed.

Close Public Hearing

Commissioner Mikot moved and Commissioner Burdette seconded to recommend approval of the zoning code amendment as proposed.

Recommend approval of Square building design guidelines, as amended

Commissioner's Comments: Chairman L. Weston shared a concern with the vagueness of using "should" throughout the guidelines, which could give someone an out in how they apply the guidelines to their project. P & D Director Oliphant shared that a certificate of appropriateness (COA) will have to be issued that will ensure that what is being done is within our guidelines. Commissioner Scott shared that he has seen historic preservation laws and more restrictive than what is being proposed and applauded the Historic Preservation Commission (HPC) for the work they have done on this. HPC member Dan Phillips shared that the spirit of the ordinance is not too restrictive but should keep glaring inconsistencies on the Square from happening in the future.

Following brief scenario discussions on how the guidelines would be implemented and how appeals would be handled, several concerns were raised in regards to the review process for a COA if there was not a historic district designation for the properties listed in the draft ordinance.

Commissioner Mikot moved to amend his motion to recommend approval to include language that would allow the HPC to review all applications for a COA for the properties listed whether or not a historic district is approved. Commissioner Scott seconded the amended motion.

Amended motion

On roll call the vote was:

Aye: S. Fischer, Benson, Scott, L. Weston, Burdette, Mikot

Nay: 0

Motion carried.

None.

Commissioner Comments

P & D Director Oliphant shared that there will be a meeting next month on a special use request.

Staff Comments

At 7:26 p.m. Commissioner Rick moved and Commissioner Scott seconded to adjourn. Motion carried unanimously by voice vote.

Adjournment


Patricia S. Brown, City Clerk

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